

# MAYOR'S ADMINISTRATIVE ACTION REPORT



## SUBDIVISION APPROVAL OF THE CANYON ROAD FLATS PRIVATE SUBDIVISION CONSISTING OF FOUR TOWNHOME BUILDINGS AND ONE DUPLEX THAT CONTAIN A TOTAL OF 29 FOOTPRINT LOTS/UNITS AT APPROXIMATELY 1518 CANYON ROAD

### Departmental Requirements and Recommendations

Staff recommend approval of the proposed subdivision plat subject to satisfying the corrections shown in Attachment 8 of the Planning Commission meeting staff report, which includes:

1. Unit addressing requirements be satisfied.
2. Correcting legal descriptions and signature blocks with the proposed subdivision plat.
3. Satisfying legal staff requirements for correct verbiage and information with the plat and CC&R's.

### Planning Commission's Reasons of Actions

The Planning Commission found that the subdivision plat will comply with city ordinances by satisfying all department staff requirements.

### Planning Commission Recommendation

The Planning Commission reviewed this item on February 4, 2026, and recommends approval subject to staff recommended conditions.

<u>Planning Commissioner's vote on recommendation</u>	<u>Yes</u>	<u>No</u>
Akhmedov .....	X	
Ross .....	X	
Sandau.....	X	
Shale .....	X	
Shinoda .....	X	
Southwick.....	X	
Williams.....	X	

# MAYOR'S ADMINISTRATIVE ACTION REPORT

## **Mayor's Action and Requirements made on February 9, 2026**

\_\_\_\_\_ Approve subject to Planning Commission requirements

\_\_\_\_\_ Approve subject to additional revisions listed below:

\_\_\_\_\_ Deny

### **Approval of action taken:**

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Benjamin K. Nadolski, Mayor

**Please Note:** The administrative approval of this project sets the conditions that must be met in order to obtain building or other required permits necessary for construction of the proposal or work needed to prepare a final subdivision plat. Permits for construction can only be issued after this approval and the requirements for approval have been complied with and all corrected drawings submitted for the required permit or final subdivision approval. This approval will expire eighteen months after the date of submittal of a complete application unless a building permit is issued, a final plat is filed, or an extension is granted per the terms of the Ogden Municipal Code.



## OGDEN CITY PLANNING COMMISSION

February 4, 2026

AGENDA ITEM- 3

Report by: Joseph Simpson

**Agenda Name: Preliminary subdivision approval of the Canyon Road Flats private subdivision consisting of four townhome buildings and one duplex that contain a total of 29 footprint lots/units at approximately 1518 Canyon Road**

**Petitioner/ Developer:** Craig North  
Grandview Industries LLC  
5835 Dartmouth Dr.  
Mt. Green, UT 83050

**Petitioner/ Developer's requested action:** Approval of the proposed 29-lot/unit private subdivision

### What the Planning Commission reviews

The commission is required to review private subdivision plats. As part of this review, the commission is to determine:

1. The culinary water authority approves that the water supply system is sufficient in terms of quantity, dependability, and quality to provide an appropriate supply of water for the type of subdivision proposed.
2. The sanitary sewer authority approves that the system is adequate to handle the demands and, if other methods of sewage disposal are proposed, such systems will comply with Federal, state, and local laws and regulations.
3. All areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precautions have been identified by the subdivider and the plan includes measures to protect public health, safety, and welfare from these hazards consistent with professional best practices and adopted standards.
4. The proposed subdivision will not result in the scattered subdivision of land that leaves undeveloped parcels of land lacking municipal services between developed parcels or would otherwise detract from the orderly extension of city utilities and the city's ability to serve other properties in the area.



## OGDEN CITY PLANNING COMMISSION

February 4, 2026

AGENDA ITEM- 3

5. The layout of lots, streets, easements, and other elements of the preliminary subdivision plan meets the standards in the land use ordinances.
6. The initial public improvement plan meets the requirements of the engineering standards and specifications.
7. The preliminary subdivision plan provides for streets, utilities, and other improvements identified in the general plan.
8. Development requirements and conditions have a rational nexus and are roughly proportional to the impacts of the project. If necessary, proportionality is achieved through the best available balance of project phasing, modification of or reduction in project scope, inclusion of improvements in capital improvement plans or other programs, reduction of requirements, or project denial until improvements are in place.

Once the commission makes a recommendation regarding the proposed private subdivision plat, the proposal is forwarded to the mayor for **final** action.

### Planning Commission's determination for action

#### Possible Commission findings and actions:

Recommend Approval with staff conditions: Find that the subdivision plat will comply with city ordinances by satisfying all department staff and private utility requirements.

Recommend Approval with modifications: Find that the subdivision plat will comply with city ordinances by satisfying all department staff and private utility requirements and by: (list conditions).

Recommend Denial: Find that the subdivision plat will not comply with city ordinances.



## OGDEN CITY PLANNING COMMISSION

February 4, 2026

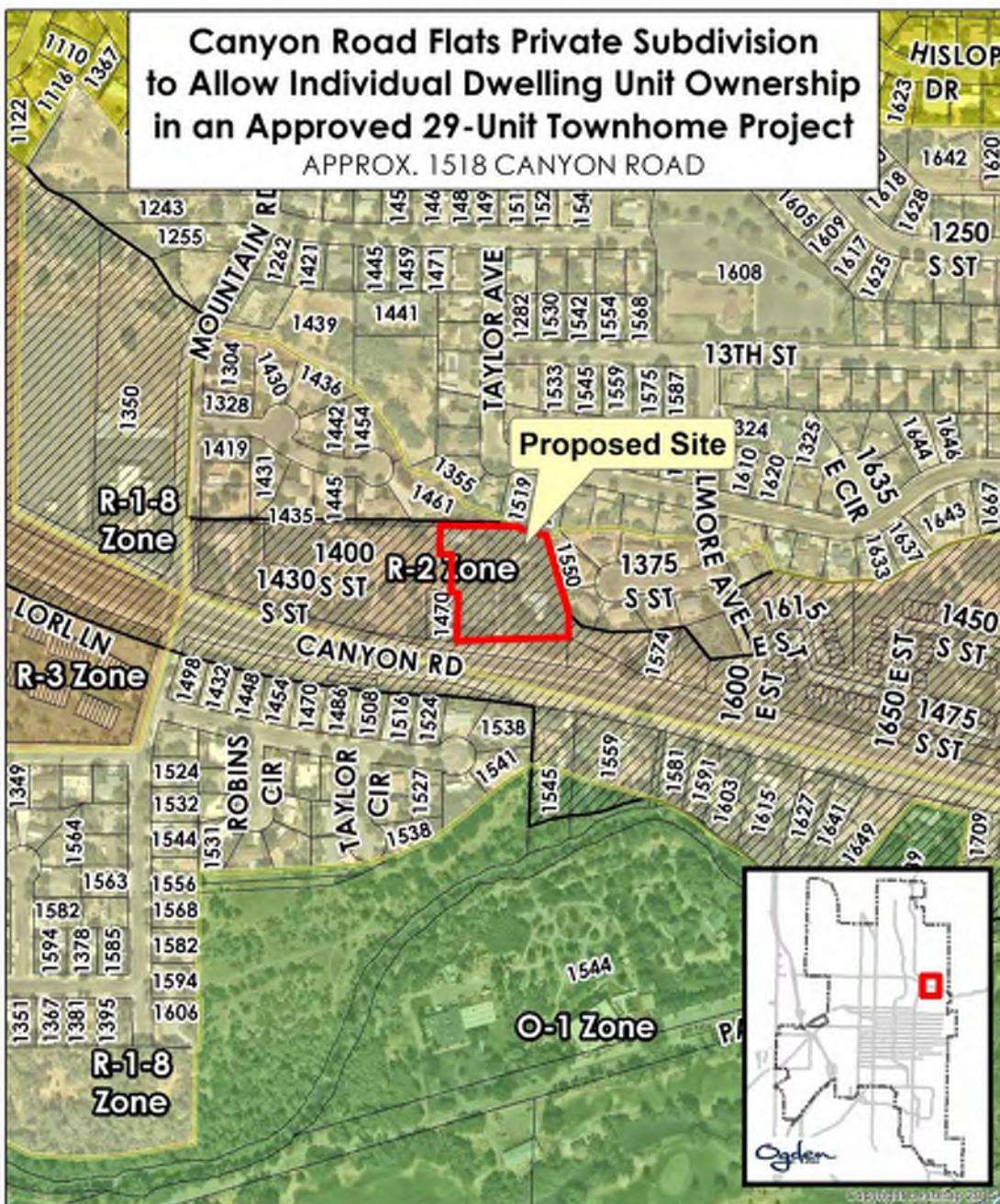
AGENDA ITEM- 3

### Planning staff's recommended action

Staff recommend that the commission recommend *approval* of the proposed subdivision plat subject to satisfying the corrections shown in Attachment 8, which include:

1. Unit addressing requirements be satisfied.
2. Correcting legal descriptions and signature blocks with the proposed subdivision plat.
3. Satisfying legal staff requirements for correct verbiage and information with the plat and CC&R's.

## Vicinity map



## Description of request

The property at approximately 1518 Canyon Road obtained site plan review approval in October 2025 to develop a 29-dwelling unit townhome project under the 12<sup>th</sup> Street Corridor Overlay Zone (see attached project fact sheet). Since the project is beneath 30-dwelling units and no special exceptions were requested, the project was reviewed and approved under a staff-level site plan review. The applicant recently obtained engineering, and right-of-way permits to develop the townhome project as shown on the attached approved site plans.

While not required, the applicant is proposing to subdivide the 29 townhome units in the project into individual lots/units where the land under each dwelling unit is individually owned and the remaining landscaping, drives, sidewalks, and site amenities are owned by all the lot owners in the development under common ownership. The use and maintenance of the common areas will be managed by an organized homeowners' association (HOA) and recorded covenants, conditions, and restrictions (CC&R's). The subdivision plat is proposed to match the layout of the buildings, units, and site shown in that attached approved site plans. The buildings in the development consist of a mix of 2-unit, 6-unit, and 7-unit townhome buildings (see attached subdivision plat and CC&R's).

## Factors for consideration of action

### Subdivision Requirements:

1. The culinary water authority approves that the water supply system is sufficient in terms of quantity, dependability, and quality to provide an appropriate supply of water for the type of subdivision proposed.

The water department has reviewed and approved the water supply for the development (see attached corrections report).

2. The sanitary sewer authority approves that the system is adequate to handle the demands and, if other methods of sewage disposal are proposed, that such systems will comply with Federal, state, and local laws and regulations.

The sewer connections in the development have been reviewed and approved in both the site plan review and subdivision review.

**3. All areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precautions have been identified by the subdivider and the plan includes measures to protect public health, safety, and welfare from these hazards consistent with professional best practices and adopted standards.**

Geotechnical reports and studies have been provided and reviewed by the building official. It has been determined that soil and topographical conditions support the proposed development.

**4. The proposed subdivision will not result in the scattered subdivision of land that leaves undeveloped parcels of land lacking municipal services between developed parcels, or would otherwise detract from the orderly extension of city utilities and the city's ability to serve other properties in the area.**

There are no portions of the existing parcel of land that would leave remnant parcels that would be undeveloped as a result of the proposed subdivision plat. Each dwelling unit will be contained in individually owned footprint lots and the rest of the surrounding property will be owned in common. The common areas will be maintained and used by the residents in the developments as part of a homeowners' association (HOA).

**5. The layout of lots, streets, easements, and other elements of the preliminary subdivision plan meets the standards in the land use ordinances.**

The proposed platted lots/units and common areas generally comply with zoning and subdivision code requirements. As outlined in the attached corrections report, there are some issues that need to be addressed regarding the proposed private subdivision plat and associated CC&R's. These comments mainly deal with the verbiage of the plat and CC&R's. Staff are recommending that the comments from the correction report (see attachment 8) be satisfied as a condition of private subdivision plat approval.

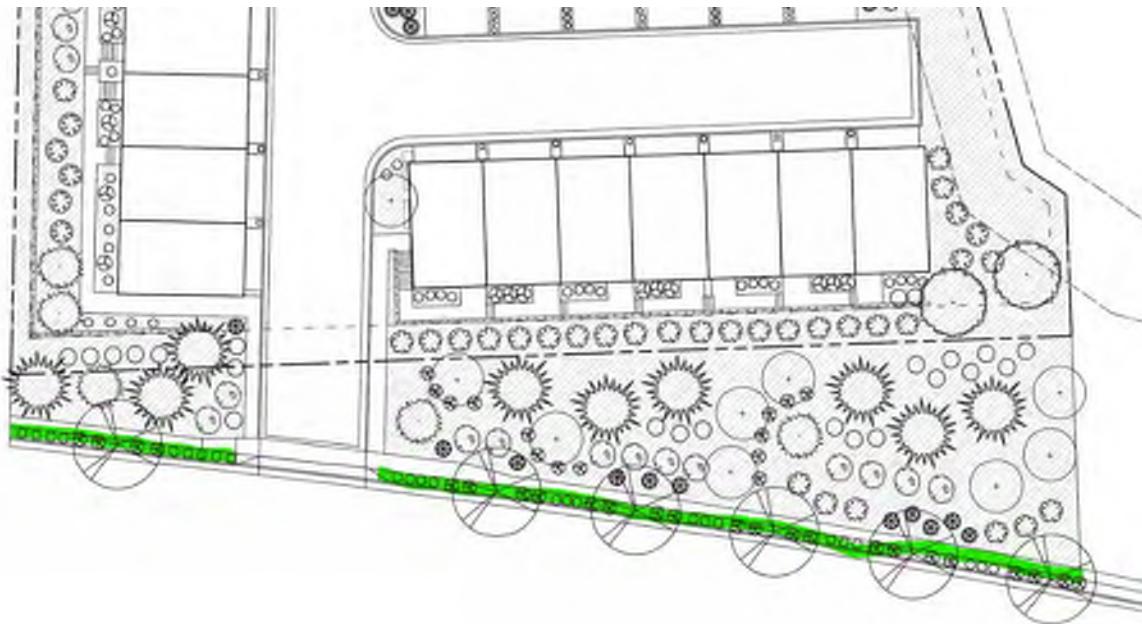
**6. The initial public improvement plan meets the requirements of the engineering standards and specifications.**

The proposed improvement plans have been reviewed and approved by engineering staff and determined that the plans comply with engineering standards.

**7. The preliminary subdivision plan provides for streets, utilities, and other improvements identified in the general plan.**

The proposed subdivision will be utilizing 12<sup>th</sup> Street and the utilities surrounding the project. Access and utility connections have been reviewed and approved.

The project will also be installing the required sidewalks and park strips along 12<sup>th</sup> Street.



**8. Development requirements and conditions have a rational nexus and are roughly proportional to the impacts of the project. If necessary, proportionality is achieved through the best available balance of project phasing, modification of or reduction in project scope, inclusion of improvements in capital improvement plans or other programs, reduction of requirements, or project denial until improvements are in place.**

All of the improvements required on the site and adjacent rights-of-way follow city codes and standards and have a rational nexus that is proportional to the impacts generated by the intensity and density of the residential project. The applicant has not proposed any phasing with the project, so all required subdivision improvements will need to be substantially completed before building permits can be issued.



## OGDEN CITY PLANNING COMMISSION

February 4, 2026

AGENDA ITEM- 3

### Attachments

1. Project Fact Sheet
2. County Plat Map
3. Aerial Photo
4. Proposed Subdivision Plat
5. Approved Site Plan Review Plans (43 pages)
6. CC&R's (54 pages)
7. Application
8. Corrections Report (3 pages)
9. Public Notice (4 pages)

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### Attachment #1- Project Fact Sheet

#### PROPERTY INFORMATION

Property Address: 1518 Canyon Road

Zone: R-2 (two-family residential) and 12<sup>th</sup> Street Corridor Overlay Zone

Community Plan: Horace Mann

Property Size: 1.77 acres

Existing Use: Vacant/Duplex and Townhomes (29-units) – currently under development

Proposed Land Use: 29-Unit Rowhouse Development

#### PREVIOUS ACTIONS

2025/10 – Final site plan review approval was granted for the Canyon Road Flats townhome project consisting of 29 dwelling units on a single parcel of land.

## Attachment #2- County Plat Map

1. W. 1/4

72

4., R.1W., S.L.B. & M.

OGDEN CITY

ALE 1" = 200"

E PAGE 56

COND

142 TO 144

636.06'  
EAST 413.30'  
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ORCHARD  
PARK SUB  
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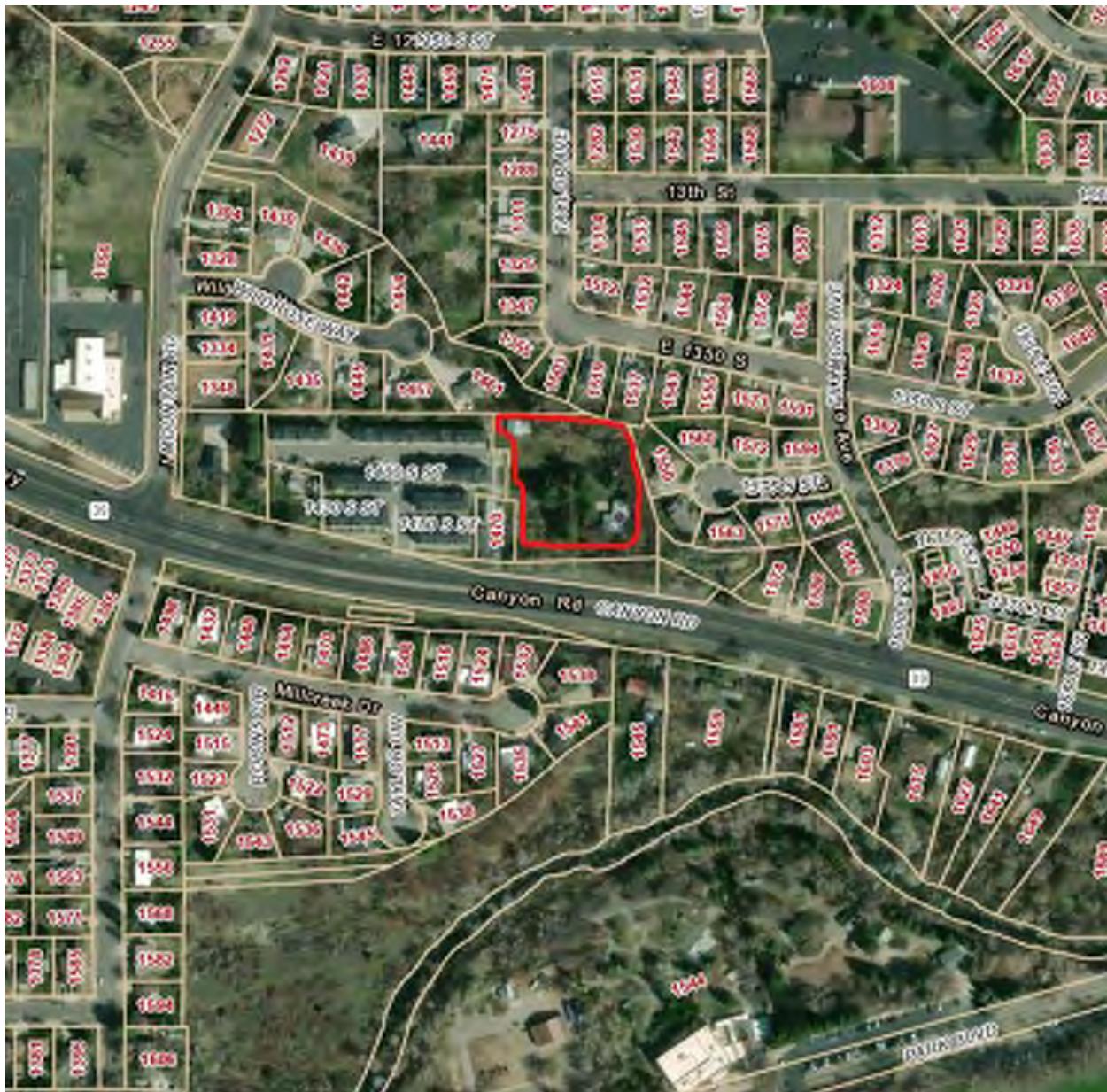
INTER AVE.  
SEE PAGE 135  
59.5° N 124.40° W

TH ST.

THE JOURNAL OF CLIMATE

MOUNTAIN ROAD  
UB NO. 7 SEE PAGE 145  
41.008° 250.67' 145.00°  
N 78° 25' 20" W 120° 145.00°  
MOUNTAIN ROAD

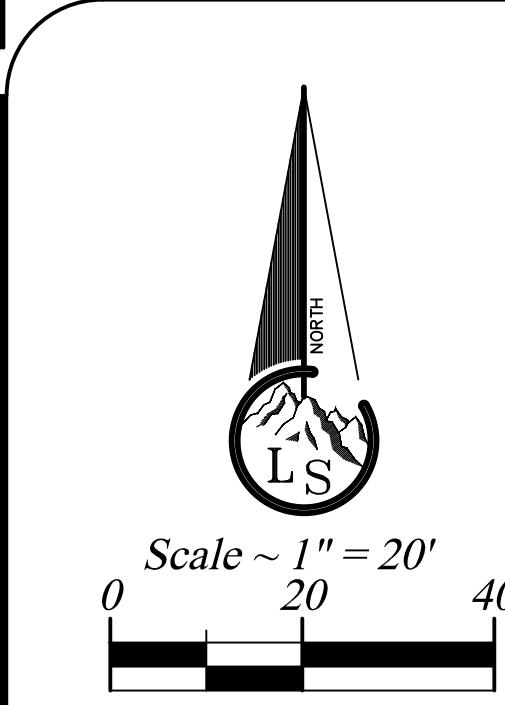
Attachment #3- Aerial Photo



# CANYON ROAD FLATS

Part of the South 1/2 OF Section 22, Township 6 North, Range 1 West, Salt Lake Base and Meridian  
An Ogden City, Weber County, Utah Subdivision

## Attachment #4- Proposed Subdivision Plat



Scale ~ 1" = 20'

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# CANYON ROAD FLATS

## 1518 CANYON ROAD

### Attachment #5- Approved Site Plan Review Plans (43 pages)

LOCATION: Z:\CEC Clients\Remote Work\Canyon Road Flats\CADD\Planset\~CADD C3D 2022 - 9-3-2025 DATE: 10/9/2025 9:46 PM



Vicinity Map



Project Location  
Not To Scale

**Final Site Plan Approval**  
Joseph R. Simpson, Planning Division Deputy Manager



10/14/2025 2:31:59 PM

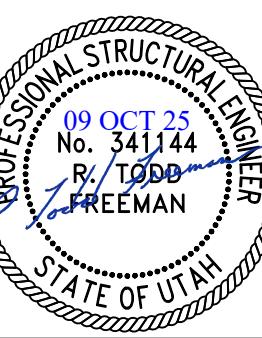
SITE INFORMATION	
Zone:	12th Street Overlay Zone
Located in:	Ogden, Utah
Parcel ID #:	13-072-0072
Total Area:	1.77 Acres
Townhomes:	29 Units
	16.38 Units/Acre
Parking:	Required Stalls: 58 Required Stalls/Unit: 2 Provided Stalls: 66 Provided Stalls/Unit: 2.28
Building Area:	19,872 sf. 25.8%
Impervious Area:	24,269 sf. 31.5%
Landscape Area:	32,084 sf. 42.7%
Total Area:	77,125 sf. (1.77 Acres)
Landuse:	Residential Townhomes

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7 OF 25	SITE UTILITY PLAN OVERALL
8 OF 25	1500 EAST UTILITY PLAN
9 OF 25	1400 SOUTH UTILITY PLAN

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22 OF 25	UDOT DETAILS
23 OF 25	UDOT DETAILS
24 OF 25	HYDRODYNAMIC SEPARATOR DETAILS
25 OF 25	STORMTECH CHAMBER DETAILS

STORM WATER POLLUTION PREVENTION PLAN	
SWPPP 1	SWPPP NOTES & DETAILS
SWPPP 2	SITE PLAN



PROJECT / LOCATION:  
CANYON ROAD FLATS  
1518 CANYON ROAD  
OGDEN, UTAH

TITLE:  
COVER

CLIENT:  
CRAIG NORTH  
PROJECT NUMBER:  
CK.22002  
FILE:  
~ck22002 01-02 Cover.dwg  
SHEET:  
1 of 25



CIVIL ENGINEERING  
CONSULTANTS, PLLC.  
5141 SOUTH 1500 WEST  
RIVERDALE, UT 84405  
801.866.0550

**EROSION CONTROL NOTES**

- During construction, the contractor shall be responsible for preventing and controlling soil erosion due to wind and water runoff. The contractor shall be sole responsible for constructing and maintaining the erosion control facilities. All surrounding streets shall be kept clean of debris from traffic from the project site.
- The contractor shall comply with the requirements of the "best management practices" for storm water protection. This requirement may include protecting all inlet boxes, catch basins, drainage ditches, etc. during construction. The contractor shall protect all surrounding properties and streets from site runoff as required. Approved storm water protection methods and drainage provisions must be used to protect adjoining properties during construction.
- The contractor shall use vehicle tracking control best management practices at all locations where vehicles will enter or exit the site. Control facilities must be maintained while construction work is in progress, adjusted when necessary, and removed from the site when the project is completed.
- The contractor shall install storm water inlet protection devices immediately upon all individual storm water inlets becoming functional.
- All wash water from construction vehicles (concrete trucks, vehicle cleaning, etc.) shall be disposed in a manner that prevents contact with natural storm water discharges from the site.
- All construction materials spilled, dropped, washed or tracked from vehicles onto City roadways or into storm drainage facilities must be removed immediately.
- No rubbish, trash, garbage or other such materials shall be discharged into drainage ditches or storm water runoff channels.
- The contractor shall adhere to all conditions of the "Utah State Storm Water Pollution and Prevention Plan" adopted for this project. The contractor shall be responsible for adjusting the erosion control measures (silt fences, straw bales, etc.) due to grade changes or other unforeseen conditions during development of the project.

**GENERAL CONSTRUCTION NOTES**

- The utilities shown on the drawings are for informational purposes only. The contractor shall locate all underground utilities, contact blue stakes and other applicable utilities prior to laying pipe within 200 feet of said utilities which may be exposed, damaged or crossed as shown on the drawings or as "blue staked". The contractor shall coordinate with the utility company to move the utility if necessary. The contractor shall not modify grade of project lines in order to go over and around existing utilities. The contractor shall pothole for the location of utilities prior to excavation.
- The contractor shall review and verify all dimensions shown on the drawings. The contractor must bring to the attention of the Engineer of any errors, discrepancy or conflicts found on any drawings that are located on the site.
- The contractor shall be responsible to provide appropriate signing and barricading. All flagging, signage and barricades and all traffic control required shall be in compliance with the current "manual on uniform traffic control devices".
- All public and private roadways must be cleaned daily, or as often as required, of all loose dirt, mud, gravel and all debris as a result of the construction work. This requirement shall apply continuously throughout the duration of the project and shall not be limited to normal construction working hours.
- All dust on project site shall be controlled by sweeping and watering the construction area.
- The contractor shall be completely responsible for the job site conditions during the course of construction, including safety of all persons and adjoining property. This requirement shall apply continuously throughout the duration of the project and not be limited to normal construction working hours.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify project engineer of any discrepancies or conflicts prior to any connections being made.
- The contractor shall be responsible for meeting all of the requirements established for safe trenching. (See OSHA and UOSHA requirements, latest editions).
- Specific information provided in the contract documents shall supersede items covered in these drawings.
- The contractor shall contact and coordinate all utility connections with the utility owner.
- All construction to comply with specifications contained and with Ogden City standards and specifications.

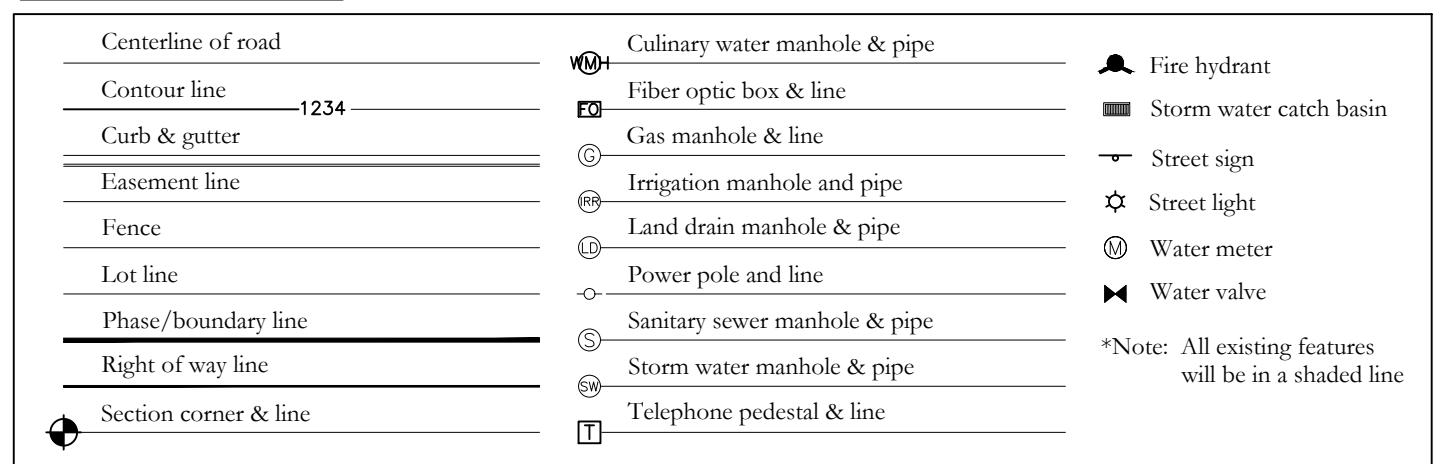
**CAUTION NOTICE TO CONTRACTOR**

The contractor is herewith instructed that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information shown is not to be relied on as being exact or complete. The contractor is required to call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. Is the sole responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the drawings.

The contractor shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property. This requirement shall apply continuously and not be limited to the normal working hours; and the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from sole negligence of the owner or the engineer.

**ABBREVIATIONS USED IN DRAWINGS**

adj	adjust	elec	electrical	in	inch	pl	property line	std	standard
avr	air release valve	eg	existing grade/ground	inv	invert	pp	power pole	sw	storm water
bw	back of wall	ev	elevation	irr	irrigation	pr	proposal	swmhb	storm water manhole
bvce	beginning vertical curve elev.	eoe	edge of concrete	l	length	prc	point of reverse curve	sy	square yard
bvcs	beginning vertical curve station	ep	edge of pavement	ld	land drain	prv	pressure reducing valve	te	top of concrete
bw	both ways	eve	end vertical curve elev.	lf	linear foot	pt	point of tangency	tbc	top back of curb
cb	catch basin	ew	end vertical curve station	lip	lip of curb	pue	public utility easement	tele	telephone
chord	chord bearing	ew	each way	lp	low point	pvc	polyvinyl chloride pipe	toa	top of asphalt
cl	centerline	exist	existing	ls	lump sum	r	radius	toe	toe of slope
cmp	corrugated metal pipe	ff	finished floor elevation	lt	left	re	rebar & cap	top	top of slope
co	clean out	fg	finished grade	max	maximum	row	right of way	tow	top of wall
cone	concrete	fh	fire hydrant	mb	manhole	rt	right	typ	top of walk
ew	culinary water	fl	flow line	min	minimum	sco	sewer cleanout	w	typical
da	delta angle	fo	fiber optic	mon	monument	sec cor	section corner	wm	water
det	detail	ft	foot	nts	not to scale	ser	south end radius	wmh	water meter
dia	diameter	gb	grade break	oc	on center	sf	square foot	wv	water manhole
dip	ductile iron pipe	hdpe	high density poly ethylene	ohp	over head power	ss	sanitary sewer		water valve
dwg	drawing	hp	high point	pe	point of curvature	smh	sanitary sewer manhole		
ea	each	hyd	hydrant	pi	point of intersection	sta	station		

**LEGEND AND SYMBOLS****CONCRETE NOTES****SOIL NOTES**

- The minimum ultimate compressive strength ( $f_c'$ ) of all concrete at 28 days shall be 3,000 psi, unless noted otherwise.
- All concrete work shall conform to ACI 318 as a minimum.
- All concrete shall conform to ASTM C-150, as a minimum.
- Location of construction or pour joints in structural concrete shall be placed so as to create square sections, or as close as is reasonably possible and must be approved by engineer.
- All exposed outside corner edges of concrete structures shall have one inch (1") forty-five degree (45°) chamfer edge.
- Fill materials less than 12 inches in depth shall be compacted to a minimum of 90 percent modified proctor in accordance with ASTM D1557. The compaction shall be verified by a qualified inspector approved by the building official. Fill materials more than 12 inches in depth shall have compacted fill that complies with the provisions of an approved report.

**SCREENING NOTES**

- If the site is to have any dumpsters they must be located and screened so that the visual and acoustic impacts of the units are fully contained and out of view from public areas. Planning staff will need to review and approve any dumpster enclosures to determine code compliance. If roll-out waste bins are to be used they must be stored inside the garages. Per City Codes 15-4-5.G and 15-25-4.J.
- All utility equipment, HVAC units, meters, dishes, etc. are required to be screened from public view and adjacent property owners. Planning staff will need to review and approve any future utility equipment installed on the site or building to determine code compliance. Per City Code 15-25-4.J.

**INTENDED USE OF DEVELOPMENT:**

This development is intended for high density residential townhome dwelling.

**UDOT NOTES**

- All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including supplemental) drawings and specifications.
- The contractor is to obtain an encroachment permit from the applicable UDOT Region Permit office prior to commencing work within UDOT right-of-way. Working hour limitations will be listed in the limitations section of the encroachment permit.
- UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-out at any time.
- Owner, developer, and contractor are responsible for any damages directly or indirectly within the UDOT right-of-way as a result of development activities.
- Owner, developer, and/or contractor is required to hire an independent company for all testing within the UDOT right-of-way.
- All signs installed on the UDOT right-of-way must be high intensity grade (Type XI sheeting) with a B3 slip base. Install all signs per UDOT SN series Standard Drawings.
- Comply with the requirements of Utah Code 17-23-14 (Disturbed Corners – County surveyor to be notified – Coordination with certain state agencies).
- For asphalt construction within the UDOT ROW match existing, or the anticipated existing of 6 inches of UDOT-approved hot mix asphalt (HMA), PG-grade 64-34 asphalt binder,  $\frac{1}{2}$  inch nominal max, 7-75-115 gyration per UDOT standard specification 0274; over 4 inches unreated base course (UTBC) per UDOT specification 0272; over 8 inches granular borrow (GB) per UDOT specification 02056 (whichever is greater). Provide documentation of compaction from a UDOT-qualified laboratory.
- Micro-Surfacing per UDOT standard specification 02735 required for this roadway on at least all new pavement placed within UDOT right-of-way.

**SHEET 3 DEMO PLAN NOTES**

- Protect all adjoining properties. Any adjoining property improvement damaged during construction will be the responsibility of the contractor to repair/replace at their own expense.
- Developer to coordinate with Toby Mileski @ (801) 782-9111 for all construction activities within irrigation easement.
- Remove abandoned utilities as required for the development.

**SHEETS 4, 7, 8, 9, & 10 GENERAL NOTES**

- Water mainlines to be 8" C-900, DR 18 PVC with tracer wire & min. 48" cover.
- Water laterals from main to meter to be 1" AWWA C-901 CTS Poly tubing with tracer wire.
- Water meters to be 1" unless specified otherwise.
- When waterlines cross wet utilities, they must cross at 90 degree angle & have 18" of vertical separation with water above the sanitary sewer.
- All waterlines to be 10-feet away from other wet utilities.
- Water tap/connection needs to be coordinated with Ted Bullock 801-629-8363 or David LaMay 801-629-8354.
- Sanitary Sewer mainlines to be 8" SDR 35 SS pipe with 7" cover.
- Sanitary Sewer lateral connections to be 4" SDR 35 SS pipe with 2% min. slope & cleanout as shown.
- Protect existing 6" & 36" culinary waterlines. Contractor to verify exact location/elevation.

**SHEET 6 GENERAL NOTES**

- Scale on this drawing (30 Scale) differs from other sheets.
- 15" RCP to be used in all roadways.

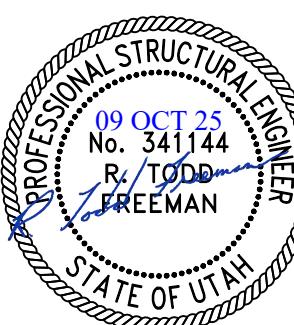
DATE: OCTOBER 2025  
DRAWN: JMQ  
CHECKED: RTF

PROJECT / LOCATION: CANYON ROAD FLATS  
1518 CANYON ROAD  
OGDEN, UTAH

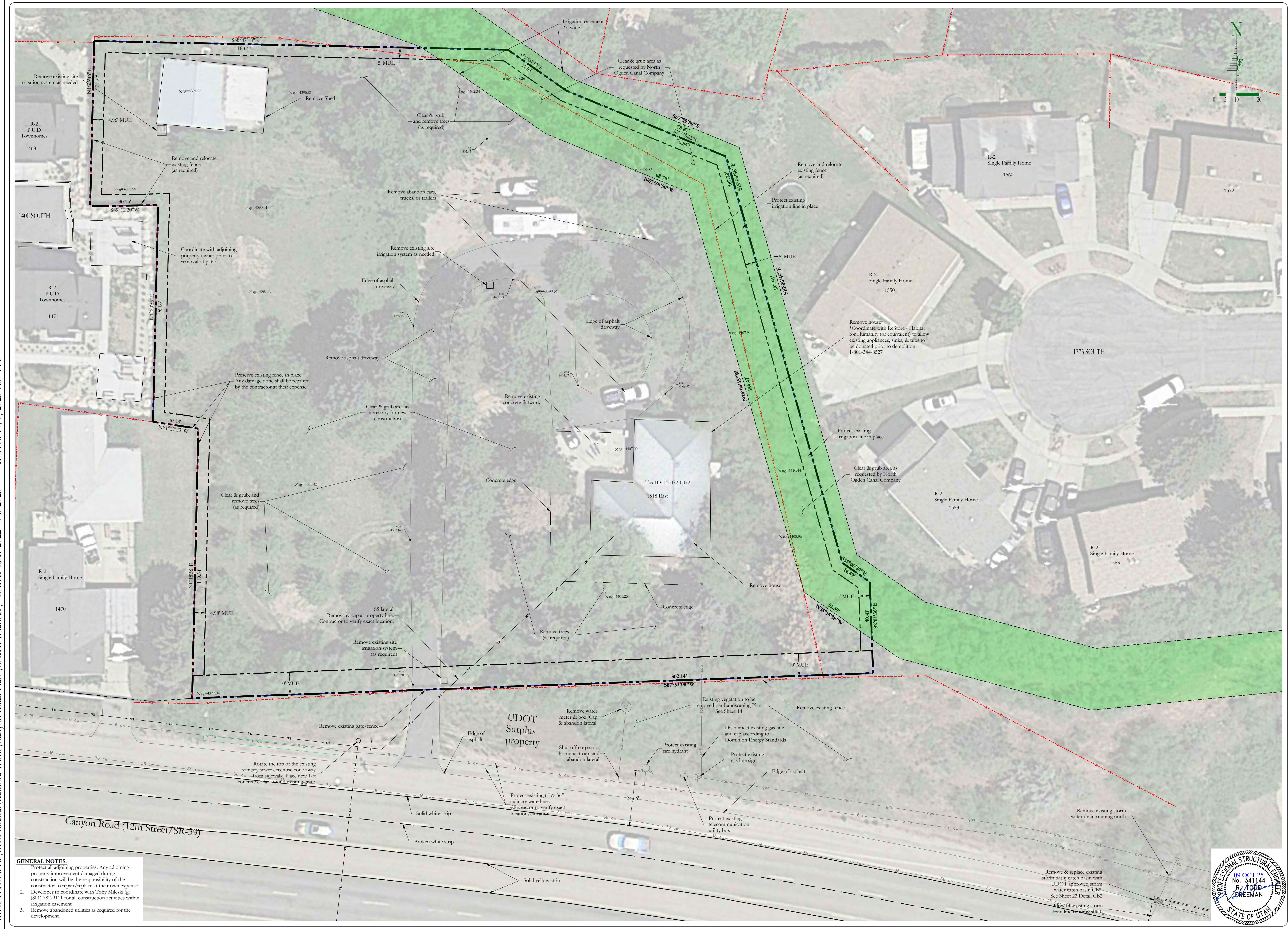
NOTES

TITLE:

CLIENT: CRAIG NORTH  
PROJECT NUMBER: CK.22002  
FILE: ~ck22002 01-02 Cover.dwg  
SHEET: 2 of 25



2 of 25



PROJECT / LOCATION: CANYON ROAD FLATS  
1518 CANYON ROAD  
OGDEN, UTAH

TITLE:

CLIENT: CRAIG NORTH  
PROJECT NUMBER: CK.22002

FILE: ~ck22002 03-15 Site.dwg  
SHEET: 3 of 25

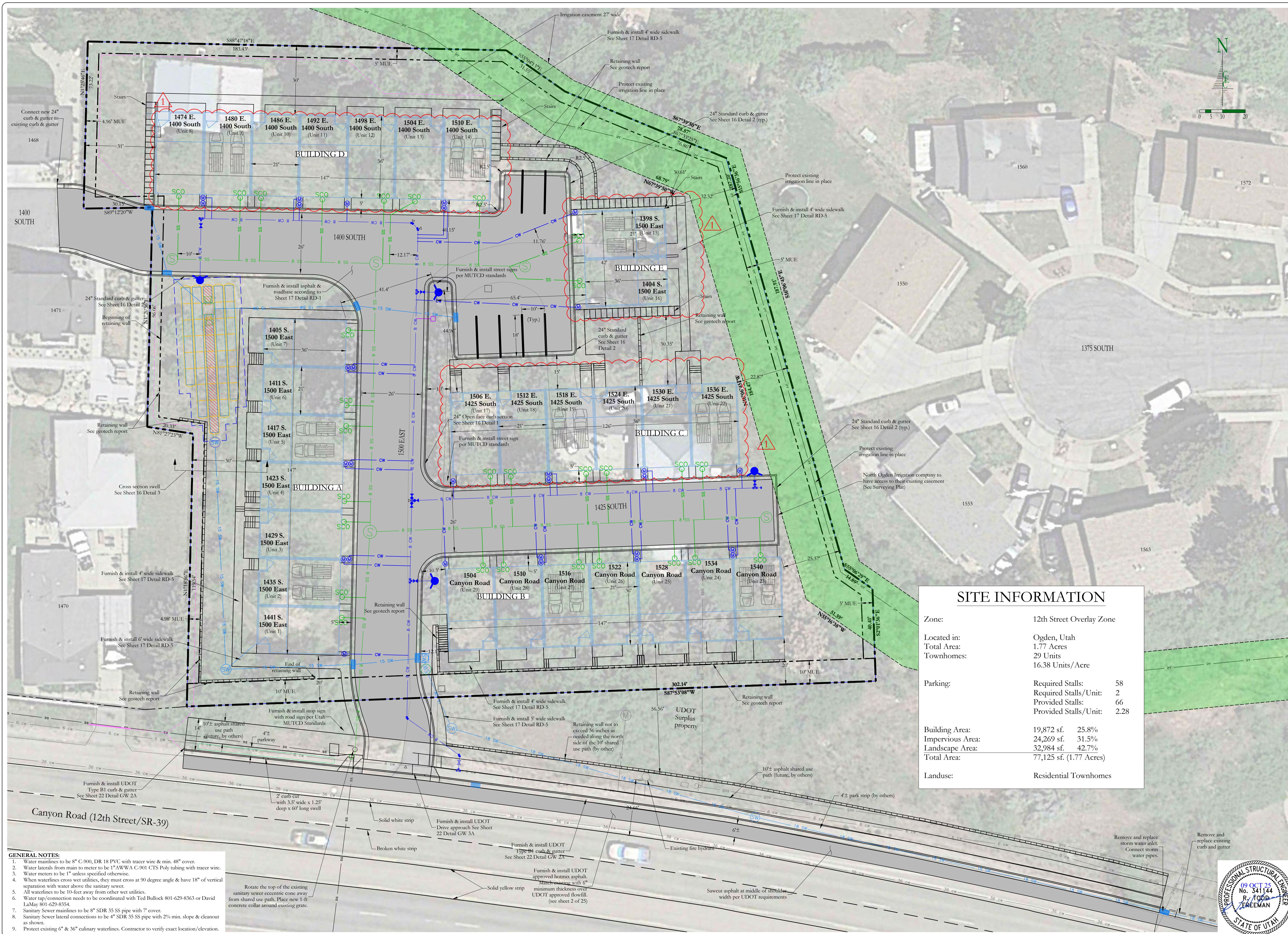
DATE: OCTOBER 2025  
DRAWN: JMQ  
CHECKED: RTF

NO. DATE BY REVISIONS

PROFESSIONAL STRUCTURAL ENGINEERING STATE OF UTAH  
No. 341144  
R. TODD FREEMAN  
09 OCT 25  
See Sheet 23 Detail CR2  
Elev. fill existing storm drain line running north



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PROJECT / LOCATION: CANYON ROAD FLATS  
1518 CANYON ROAD  
OGDEN, UTAH

CLIENT: CRAIG NORTH  
PROJECT NUMBER: CK.22002  
FILE: ~ck22002 03-15 Site.dwg  
SHEET: 4 of 25

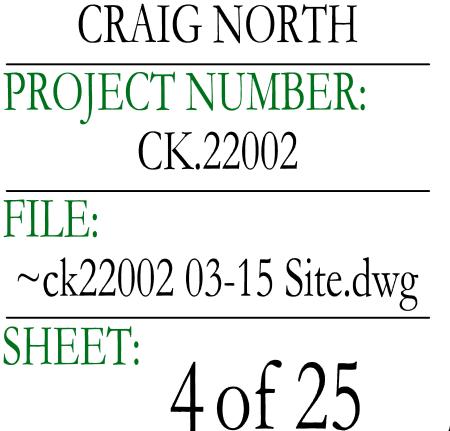
NO.	DATE	BY	REVISIONS
1	07/10/2025	RTF	BUILDING DEPTH ADJUSTED 5 FEET AND WIDTH ADJUSTED 2 FEET

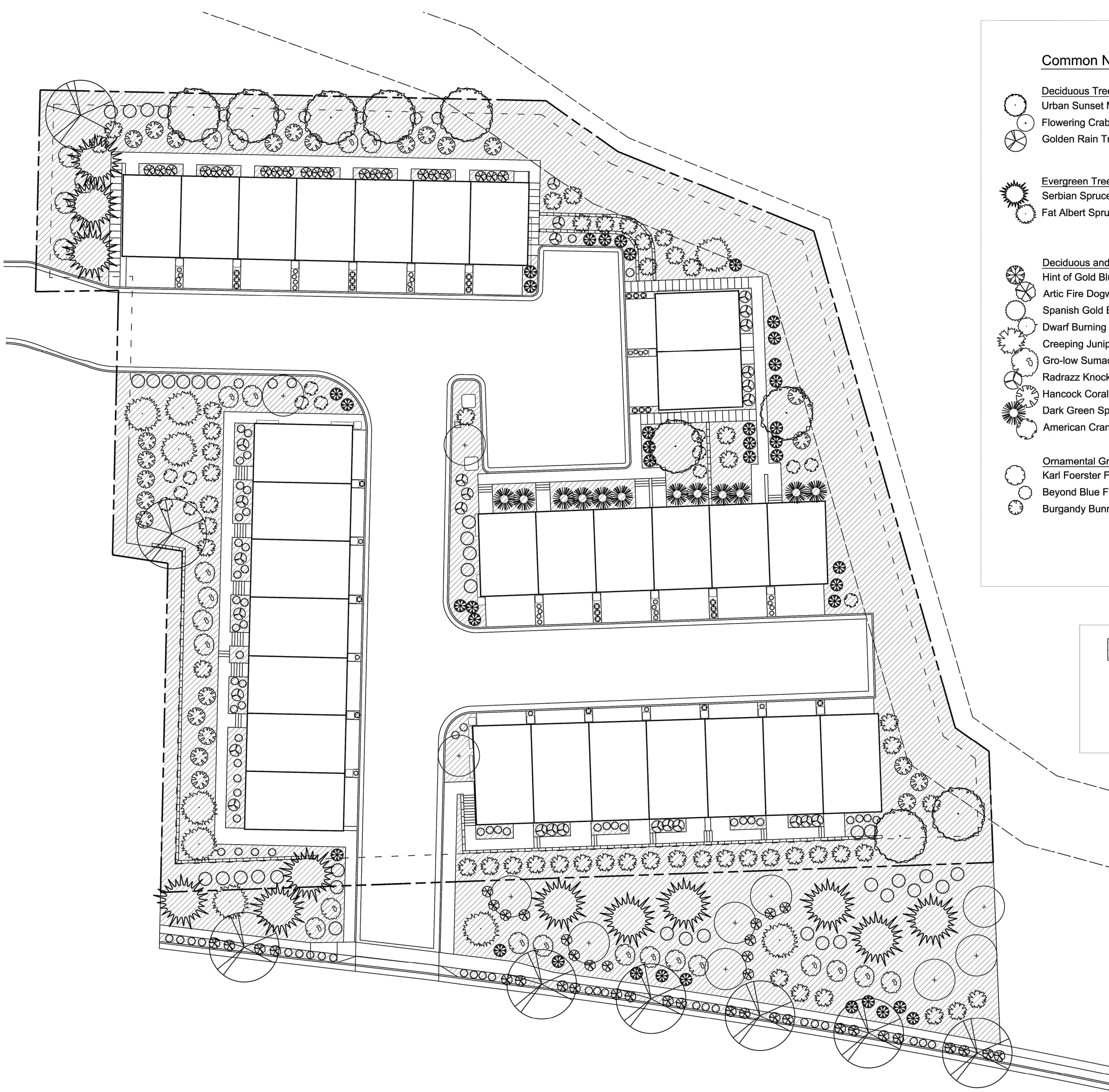
DATE: OCTOBER 2025  
DRAWN: JMQ  
CHECKED: RTF

## SITE INFORMATION

Zone:	12th Street Overlay Zone
Located in:	Ogden, Utah
Total Area:	1.77 Acres
Townhomes:	29 Units 16.38 Units/Acre
Parking:	Required Stalls: 58 Required Stalls/Unit: 2 Provided Stalls: 66 Provided Stalls/Unit: 2.28
Building Area:	19,872 sf. 25.8%
Impervious Area:	24,269 sf. 31.5%
Landscape Area:	32,984 sf. 42.7%
Total Area:	77,125 sf. (1.77 Acres)
Landuse:	Residential Townhomes

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No. 341144  
R. TODD FREEMAN  
FILE: ~ck22002 03-15 Site.dwg  
SHEET: 4 of 25





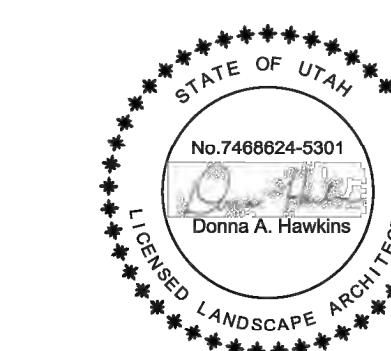
Plant Table

Common Name	Botanical Name	Mature Size	Cal.	Qty
Deciduous Tree			H x W	
Urban Sunset Maple	Acer truncatum x platanoides	35 x 20	2" Cal.	9
Flowering Crabapple	Malus 'Royal Raindrops'	20 x 15	2" Cal.	11
Golden Rain Tree	Koelreuteria paniculata	25 x 20	2" Cal.	8
Evergreen Tree				
Serbian Spruce	Picea omorika 'Riverside'	50 x 15	8'	12
Fat Albert Spruce	Picea pungens glauca 'Fat Albert'	18 x 12	6'	9
Deciduous and Evergreen Shrub				
Hint of Gold Blue Mist Shrub	Caryopteris clandonensis 'Lisaura'	4 x 4	5 Gal.	38
Arctic Fire Dogwood	Cornus stolonifera 'Arctic Fire'	4 x 4	5 Gal.	59
Spanish Gold Broom	Cytisus purgans	4 x 5	5 Gal.	38
Dwarf Burning Bush	Euonymus alatus 'Compacta'	6 x 6	5 Gal.	6
Creeping Juniper	Juniperus horizontalis 'Bar Harbor'	12" x 6"	5 Gal.	45
Gro-low Sumac	Rhus aromatica 'Gro Low'	30" x 8"	5 Gal.	27
Radrazz Knockout Rose	Rosa x Radazz	4 x 4	5 Gal.	28
Hancock Coralberry	Symporicarpos x chenaultii 'Hancock'	3' x 7'	5 Gal.	24
Dark Green Spreading Yew	Taxus media 'Dark Green Spreader'	4' x 7'	5 Gal.	12
American Cranberry Bush	Viburnum trilobum 'Alfredo'	5 x 5	5 Gal.	9
Ornamental Grasses				
Karl Foerster Feather Grass	Calamagrostis arundinacea Karl Foerster	5 x 3	1 Gal.	78
Beyond Blue Fescue Grass	Festuca glauca 'Beyond Blue'	12" x 18"	1 Gal.	31
Burgandy Bunny Fountain Grass	Pennisetum alopecuroides Burgandy Bunny	16" x 16"	1 Gal.	24

Shredded Bark Mulch - 38,400 sq.ft.  
4" deep in all shrub beds

Landscape Fabric - 38,400 sq.ft.  
DeVitt PRO-5 Weed Barrier  
5 oz. - to be placed under all cobble,  
gravel and bark and secured with 6"  
landscape staples.

Scale 1:20  
0' 20' 40'



PROJECT / LOCATION:  
CANYON ROAD FLATS  
1518 CANYON ROAD  
OGDEN, UTAH

TITLE:

LANDSCAPING PLAN

CLIENT:  
CRAIG NORTH  
PROJECT NUMBER:  
CK.22002  
FILE:  
~ck22002 03-15 Site.dwg  
SHEET:  
14 of 25



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NO. DATE BY REVISIONS

DATE: OCTOBER 2025

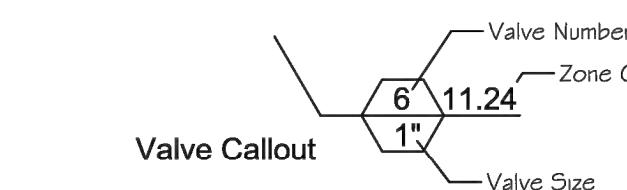
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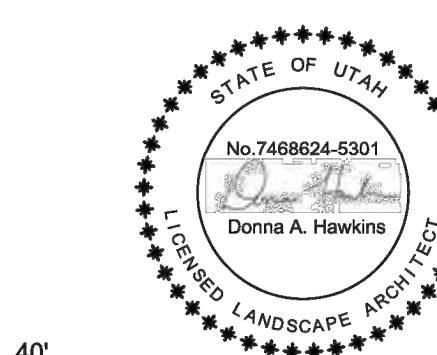
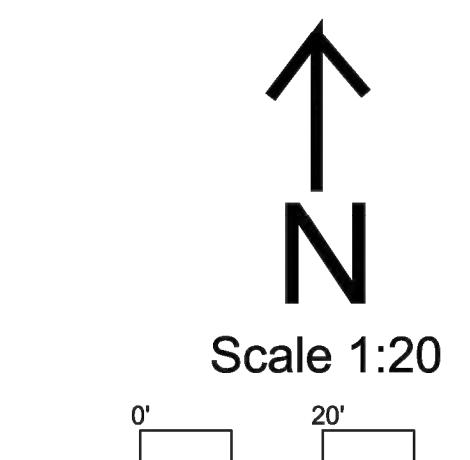
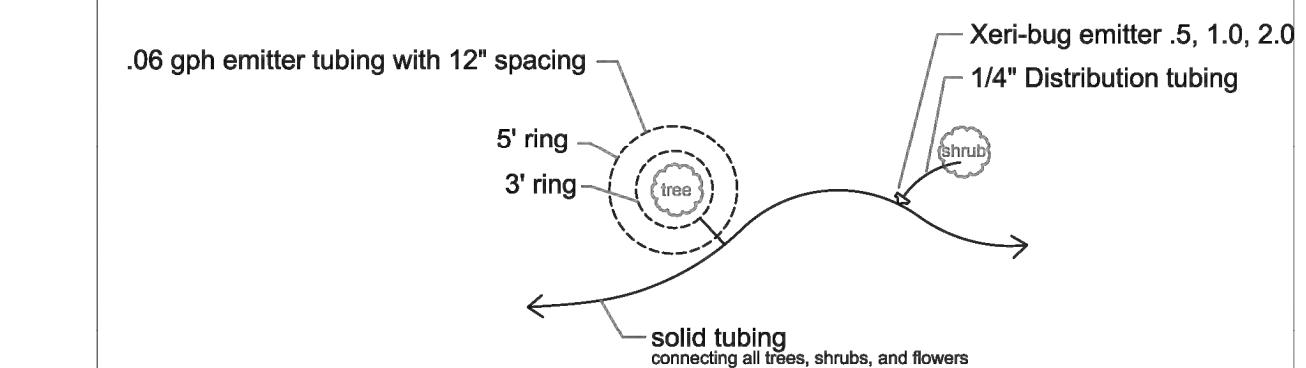
### Irrigation Table

Controller	Rainbird ESP-SMTe 10-station controller
Point of Connection	Wilkins- 1-975XLFT- 1" RPZ
Backflow Preventer	
Hose Bib	
Irrigation Valve	
Drip Irrigation Valve	Rainbird 100-DVF (w/ Netafim 120 m filter & 45 psi pressure reducer)
Main Line	Schedule 40 PVC 1"
Lateral Line	Schedule 40 PVC 1" and 3/4"
Sprinkler Conduit	Schedule 40 PVC 3"
Drip Tubing	Netafim Techline CV Blank Tubing
Drip tubing connection	Netafim 3/4" MPT Adapter
4" Rotor head with nozzle (size indicated)	Rainbird 5004-PC, nozzle: 1.0 LA, 2.0 LA, 3.0 LA
4" Spray head with VAN nozzle (size indicated)	Rainbird 1804, nozzle: 6-15-VAN



### Irrigation Notes

1. All measurements for this irrigation plan were obtained from the submitted site plan. All measurements are to be verified by the contractor prior to installation. Irrigation lines are shown schematically and can be slightly altered based on existing site conditions.
2. The contractor is responsible for having all utilities marked prior to beginning of work.
3. All valves, controllers and backflow preventers shall be installed according to industry standards. A 1" quick-connect shall be installed immediately after the backflow preventer for winterization. Controllers shall be installed outside, mounted against a building or pedestal for maintenance access.
4. **Drip Layout:** Trees will have a 3' and 5' dia. ring of emitter tubing. Rings shall not be directly connected, but all feed off common blank tubing. Shrubs shall have (1) 2- gal. emitter. Ornamental Grasses shall have (1) 1 gal. emitter. The emitters shall pierce the blank tubing directly, connect to 1/4" distribution tubing, and pipe water to the base of the plant. See example.



PROJECT / LOCATION: CANYON ROAD FLATS  
1518 CANYON ROAD  
OGDEN, UTAH

IRRIGATION PLAN

CLIENT: CRAIG NORTH  
PROJECT NUMBER: CK.22002  
FILE: ~ck22002 03-15 Site.dwg  
SHEET: 15 of 25

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DATE: OCTOBER 2025  
DRAWN: JMQ  
CHECKED:



# CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

23 JULY 2025

## Final Site Plan Approval

Joseph R. Simpson, Planning Division Deputy Manager

10/14/2025 2:31:59 PM

INDEX GENERAL	
SHEET #	SHEET NAME
D000	COVER SHEET
D001	EXTERIOR VIEWS
D002	EXTERIOR VIEWS
D003	EXTERIOR VIEWS
D004	EXTERIOR VIEWS
D005	EXTERIOR VIEWS
D006	EXTERIOR VIEWS
D007	EXTERIOR VIEWS
D008	EXTERIOR VIEWS
D100	SITE PLAN
D101	OVERALL SITE PLAN
D201	BLD A. LEVEL 1 & 2
D202	BLD A. LEVEL 3 & ROOF
D203	BLD B. LEVEL 1 & 2
D204	BLD B. LEVEL 3 & ROOF
D205	BLD C. LEVEL 1 & 2
D206	BLD C. LEVEL 3 & ROOF
D207	BLD D. LEVEL 1 & 2
D208	BLD D. LEVEL 3 & ROOF
D209	BLD E. LEVEL 1 & 2
D210	BLD E. LEVEL 3 & ROOF
D301	BLD A. EXTERIOR ELEVATIONS
D302	BLD A. EXTERIOR ELEVATIONS
D303	BLD B. EXTERIOR ELEVATIONS
D304	BLD B. EXTERIOR ELEVATIONS
D305	BLD C. EXTERIOR ELEVATIONS
D306	BLD C. EXTERIOR ELEVATIONS
D307	BLD D. EXTERIOR ELEVATIONS
D308	BLD D. EXTERIOR ELEVATIONS
D309	BLD E. EXTERIOR ELEVATIONS
D310	3 BEDROOM TYPE 1
D401	3 BEDROOM TYPE 2
D402	3 BEDROOM TYPE 3
D501	COLOR AND MATERIAL BOARD



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## CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

EXTERIOR VIEWS

D001

23 JULY 2025



## CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

EXTERIOR VIEWS

D002

23 JULY 2025





## CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

EXTERIOR VIEWS

D004

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## CANYON ROAD FLATS

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EXTERIOR VIEWS

D005

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## CANYON ROAD FLATS

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EXTERIOR VIEWS

D006

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## CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

EXTERIOR VIEWS

D007

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## CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

EXTERIOR VIEWS

D008

23 JULY 2025



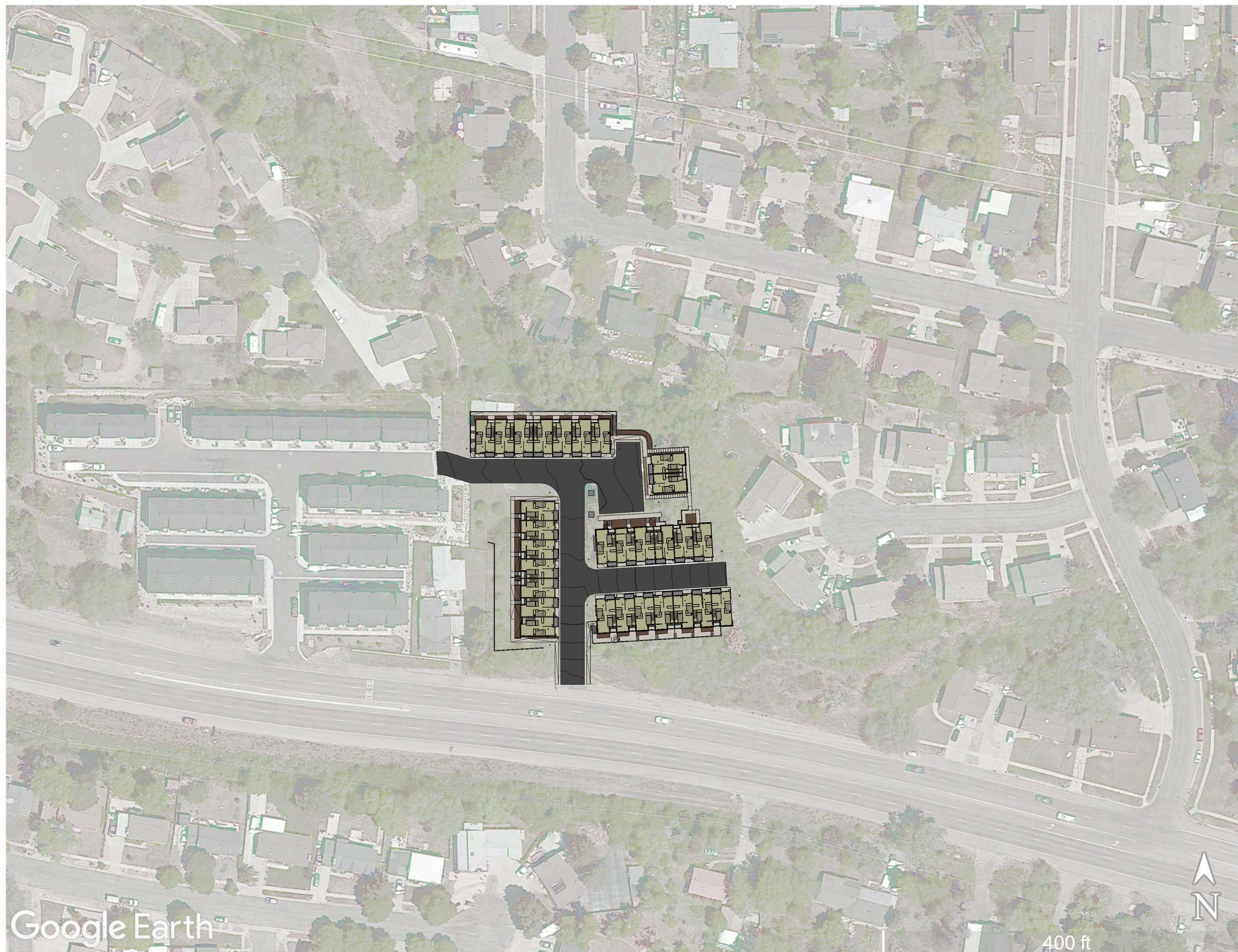
PROJECT UNDERSTANDING/ ASSUMPTIONS					
1. ZONE = R-3 MULTI-FAMILY RESIDENTIAL - 12th STREET CORRIDOR					
2. HEIGHT LIMIT = 38'-0"					
3. SETBACKS FRONT = 20'-0" SIDE = 10'-0" REAR = 30'-0"					
4. PARKING REQUIREMENTS PER 12TH STREET CORRIDOR OVERLAY ZONE 12TH CO SINGLE-FAMILY ROW HOUSE PARKING IS REQUIRED TO BE PROVIDED IN A TWO (2) CAR GARAGE INTEGRATED INTO EACH UNIT OF THE ROW HOUSE.					

SUMMARY						3 LEVELS OF WOOD FRAME CONSTRUCTION	7/22/2023
UNIT TYPE	SF GROSS	SF NET	TOTAL	%	REQ. PKG		
3-BEDROOM-01	1683	1534	17	58.5	34		
3-BEDROOM-02	1700	1544	1	3.5	2		
3-BEDROOM-03	1684	1541	11	38	22		
TOTALS			29	100%	58		

LAND USE SUMMARY		ACRES (SQ.FT.)	SITE COVER %
SITE AREA		1.77 ACRES	
BUILDING AREA		19,872 SF	25.80%
LANDSCAPE AREA		24,269 SF	31.50%
HARDSCAPE AREA		32,984 SF	42.70%
TOTAL		77,125 SF	100%
UNITS PER ACRE		16.95 UNITS/ACRES	

# CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401



SITE PLAN (overall site plan)

1"

= 60'-0"

1

D101



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## CANYON ROAD FLATS

CANYON ROAD, OGDEN, UTAH 84401

OVERALL SITE PLAN

D101

22 JULY 2025