



OGDEN CITY PLANNING COMMISSION

June 4, 2025

AGENDA ITEM- 3

Report by: Joseph Simpson

Agenda Name: Preliminary subdivision approval of the 605 Jackson/Lewis Ridge Subdivision consisting of twenty-nine lots for a new single-family home development at approx. 605 North Jackson Avenue

Petitioner/ Developer: Jeremy Smith
Ogden City Community Development
2549 Washington Blvd. Suite 120
Ogden, UT 84401
jeremysmith@ogdencity.gov

Petitioner/ Developer's requested action:

Approval of the proposed twenty-nine lot single-family subdivision

What the Planning Commission reviews

The commission is required to review subdivision plats. As part of this review, the commission is to determine that the proposed subdivision plat is in the best interest of the public and in harmony with good neighborhood development. The commission will also need to determine that the subdivision plat is compliant with city ordinances, specifically current zoning and subdivision ordinances. The commission's decision will be the **final** action for the subdivision.

Planning Commission's determination for action

Possible Commission findings and actions:

Approval with staff conditions: Find that the subdivision plat will be in the best interests of the public and in harmony with good development of the area and the subdivision plat will comply with city ordinances by installing wrought iron fencing and connecting public walkways as recommended by staff, and by satisfying all department staff and private utility requirements.

Approval with modifications: Find that the subdivision plat will be in the best interests of the public and in harmony with good development of the area and the subdivision plat will comply with city ordinances by installing wrought iron fencing and connecting public walkways, by satisfying all department staff and private utility requirements, and by: (list conditions).

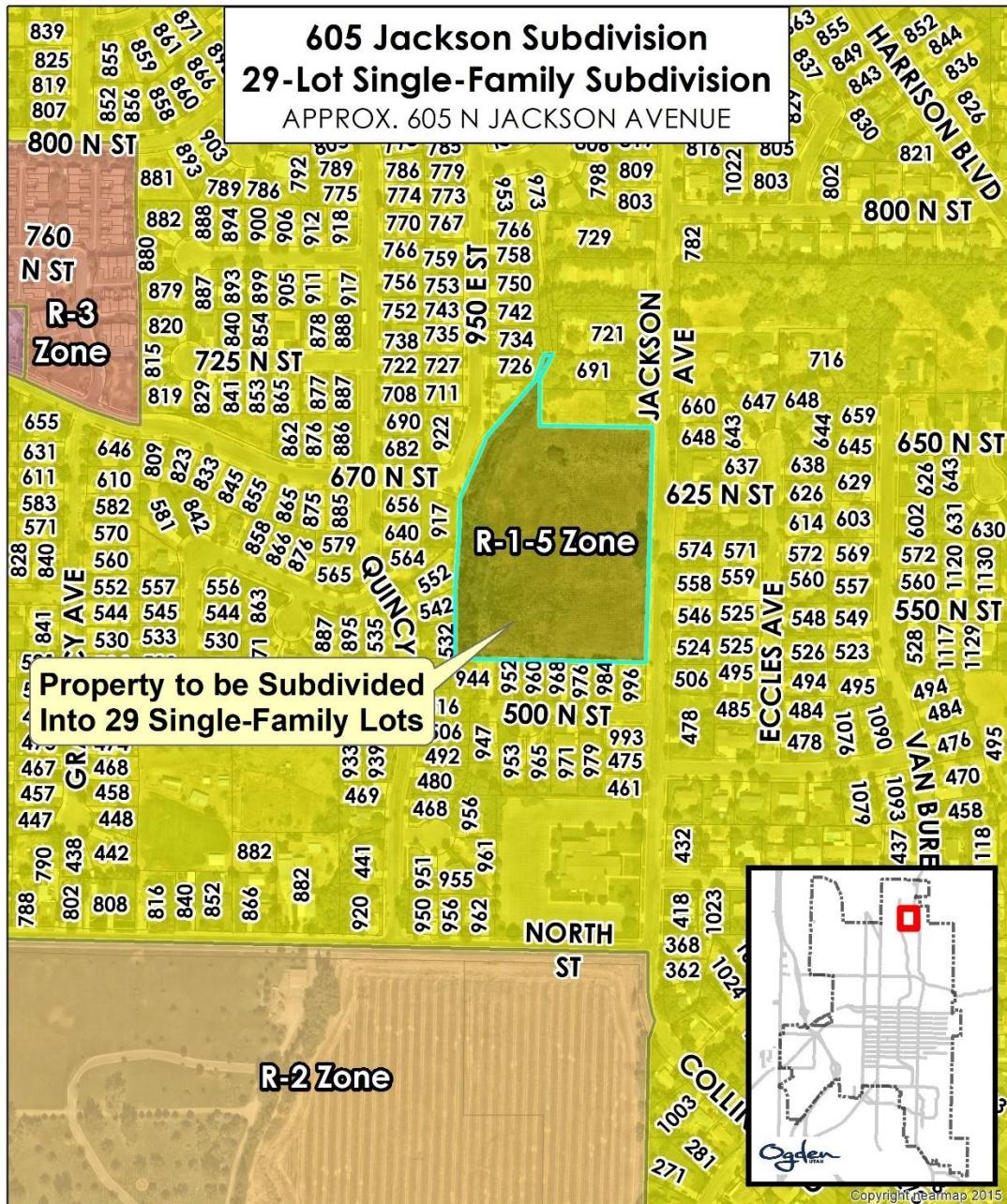
Denial: Find that the subdivision plat is not in the best interests of the public and in harmony with good development of the area and the subdivision plat will not comply with city ordinances.

Planning staff's recommended action

Staff recommends **approval** of the proposed subdivision plat subject to installing a 6' tall wrought iron fence with 3' wide access gates along the rear portions of the lots along 670 North Street and 950 East Street, installing a 12' wide concrete public walkway as a designated public right-of-way between 957 East Street and 670 North Street with 6' tall wrought iron fencing on both sides and bollards at each end, and by satisfying the corrections shown in Attachment 6, which includes:

1. Establishing a financial guarantee with Ogden City for subdivision improvements.
2. Satisfying engineering staff utility and roadway requirements.
3. Meeting addressing requirements.
4. Satisfying legal staff requirements for correct verbiage, easements, information, and formatting with the plat.
5. Adjusting lot lines to meet minimum R-1-5 zone lot width requirements.

Vicinity map



Description of request

The commission may recall that Ogden City recently purchased this property at 605 North Jackson Avenue and the commission approved rezoning the property in May 2024 from R-1-6 to R-1-5. Both of these zones are single-family zones, but the R-1-5 allows for slightly smaller lots, which is more compatible with the surrounding single-family developments. As outlined in the attached project fact sheet, the city council has approved the rezoning.

With the new zoning being approved, the city is now pursuing to subdivide the property into 29 single-family lots. The attached subdivision plat includes a “1st Draft Subdivision Plat” that has been reviewed by city staff (titled: “605 Jackson Subdivision) and a recently submitted “UPDATED Subdivision Plat” that is currently in review by city staff (titled: “Lewis Ridge Subdivision”). With the exception of “Lot 1” fronting Jackson Avenue, the remainder of the proposed single-family lots would be developed along new public roads that would be dedicated to the city. These new public roads would have two connections to Jackson Avenue and include sidewalks and park strips on both sides of the streets.

As shown in the attached subdivision plat, the subdivision also fronts existing streets to the west of the site. These streets are 670 North and 950 East, which form a partial intersection. Due to topography and an existing canal, the new single-family subdivision will not have any street connection to these existing streets but is proposed to have a 4' walkway connecting the subdivision with the neighborhood. The initial “draft” subdivision shows a detention basin on a separate lot (“Parcel A”) with connecting sidewalks along these existing streets. The city does not want to end up maintaining this area or create a common area with homeowner’s association with the new subdivision. The “UPDATED” plat shows that the basin and walkway will be merged into “Lot 10” of the single-family subdivision and protected with a utility and access easement.

Factors for consideration of action

Applicable Subdivision Requirements:

1. The subdivision is in the best interests of the public and in harmony with good development of the area:

The proposed 605 Jackson/Lewis Ridge Subdivision will allow the development of single-family homes on similar lot sizes as the surrounding single-family neighborhood. The main reasons the city purchased this property is due to the high need for single-family homes in the city and to ensure quality development. The proposed subdivision plat is the next step in the process in achieving these goals.

As previously discussed, the topography and canal along the west property of the property prevents the ability of connecting streets of the new subdivision with the existing 950 East and 670 North Streets. Having at least a pedestrian walkway between the subdivision and these streets is necessary to provide cohesiveness with the neighborhood and connectivity. Staff feel that a 4' wide walkway is not sufficient and are recommending as a condition of approval that pedestrian connection width be increased to a 12' wide concrete public walkway and be designated as a public right-of-way with 6' tall wrought iron fencing on both sides and bollards at each end of the path to prevent vehicle encroachment.

2. The subdivision is in compliance with zoning and subdivision code requirements:

As outlined in the attached corrections report, there are some issues that need to be addressed regarding the proposed subdivision. These comments mainly deal with the format and verbiage of the plat. There are a few items related to road design, easements, addressing, utilities, and a financial guarantee. Staff are recommending that the comments from the correction report (see attachment 6) be satisfied as a condition of subdivision approval.

The proposed platted lots generally comply with zoning and subdivision code requirements, except for some of the lot widths of the corner lots and some of the "pie-shaped" lots in the cul-de-sac. Shifting a few of the lot lines would easily allow the lot widths to be met in the lot current configuration.

OMC 14-3-3 requires:

Blocks shall not exceed one thousand three hundred feet (1,300') in length. Blocks over eight hundred feet (800') in length shall be provided with a dedicated walkway through the block at its approximate center. Such walkways shall be not less than ten feet (10') in width.

The blocks exceed this standard due to existing development on the south and north and the canal to the west. Staff have investigated the possibility of extending a street over the canal to the west to connect to 670 North. Due to grades, this would require elevating and reconstructing 670 North to the west of the canal, impacting the access for existing homes. To comply with the standard above, a walkway will be provided through the block across the canal.

OMC 14-3-4.C states that "Interior lots abutting on more than one street shall be prohibited except where unusual conditions make elimination of double fronted lots undesirable. If a double facing interior lot is determined to be appropriate, those lots which face more than one street shall be:

1. Twenty percent (20%) larger than the minimum required lot size for the zone in which the subdivision is located.
2. The rear portion of the lot shall have an added ten feet (10') of right of way dedicated, which will be between the adjacent property line and the sidewalk, and landscaped in accordance with an approved landscaping plan. This landscaped area shall be in addition to the requirement to provide a landscaped park strip.
3. The developer shall install as part of the required public improvements a six foot (6') see through wrought iron fence with a three foot (3') wide gate for each lot to provide maintenance access to the landscaped area and park strip. The fence shall be designed to have a minimum four inch (4") spacing for vertical members. The fence shall be placed along the property line facing the rear portion of the lot and the street".

The subdivision does create double fronted lots along the existing street (670 North and 950 East) to the west of the subdivision. As noted earlier, there is an existing canal and topography in this area that would prevent vehicle access to the proposed subdivision. As shown in the attached "UPDATED" subdivision plat, "Lot 9" would have a small portion of frontage along 950 East Street and "Lot 10" would have complete



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frontage along 950 East and 670 North streets. Both of these lots would exceed 20% of the minimum required 5,000 square foot lot area. There is also a larger 50' wide easement along the existing streets for the North Ogden Irrigation canal, so there will be plenty of space to provide additional landscaping along the rights-of-way. Staff are recommending as a condition of approval that the required 6' tall wrought iron fence with 3' wide access gates be installed along the rear street frontages to allow lots 9 and 10 to access and maintain the streetscapes along 950 East and 670 North Streets.

Attachments

1. Project Fact Sheet
2. County Plat Map
3. Aerial Photo
4. Proposed Subdivision Plat (4 pages)
5. Application
6. Corrections Report (7 pages)
7. Public Notice (3 pages)



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Attachment #4- Proposed Subdivision Plat (4 pages)

PROPERTY INFORMATION

Property Address: Approximately 605 North Jackson Avenue

Zone: R-1-5 (Single-Family Residential)

Community Plan: Mt. Lewis

Property Size: 7.177 acres

Existing Use: Vacant property

Proposed Land Use: Single-family homes on individual lots

PREVIOUS ACTIONS

June 2023 – Ogden City purchased approximately 6.5 acres of land at 605 North Jackson Avenue from the Ogden School District.

May 2024 – Planning commission recommended approval to rezone both 605 North Jackson Avenue and a rear portion of 685 North Jackson Avenue from R-1-6 to R-1-5.

June 2024 – City Council approved rezoning the properties from R-1-6 to R-1-5 with the condition of completing a lot line adjustment with 685 North Jackson Avenue so that the property lines would follow the new zone boundary line.

October 2024 – The required lot line adjustment to add the rear portion of 685 North Jackson Avenue to 605 North Jackson Avenue was recorded.

Attachment #2- County Plat Map

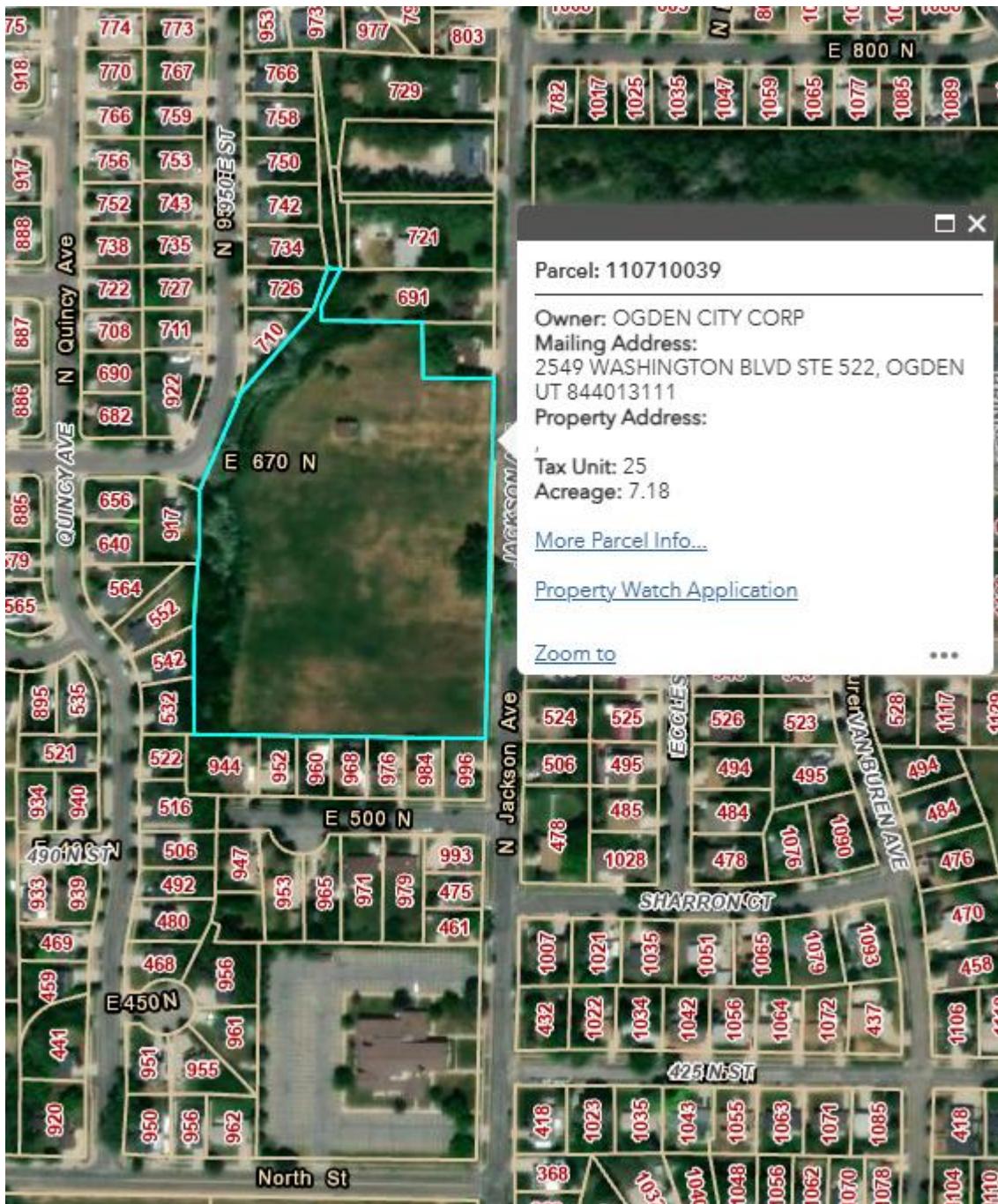
S.E. 1/4
SECTION 9, T.6N., R.1W., S.L.B. & M.

TAXING UNIT: 25

OGDEN CITY
SCALE 1" = 200'

SEE PAGE 44

Attachment #3- Aerial Photo



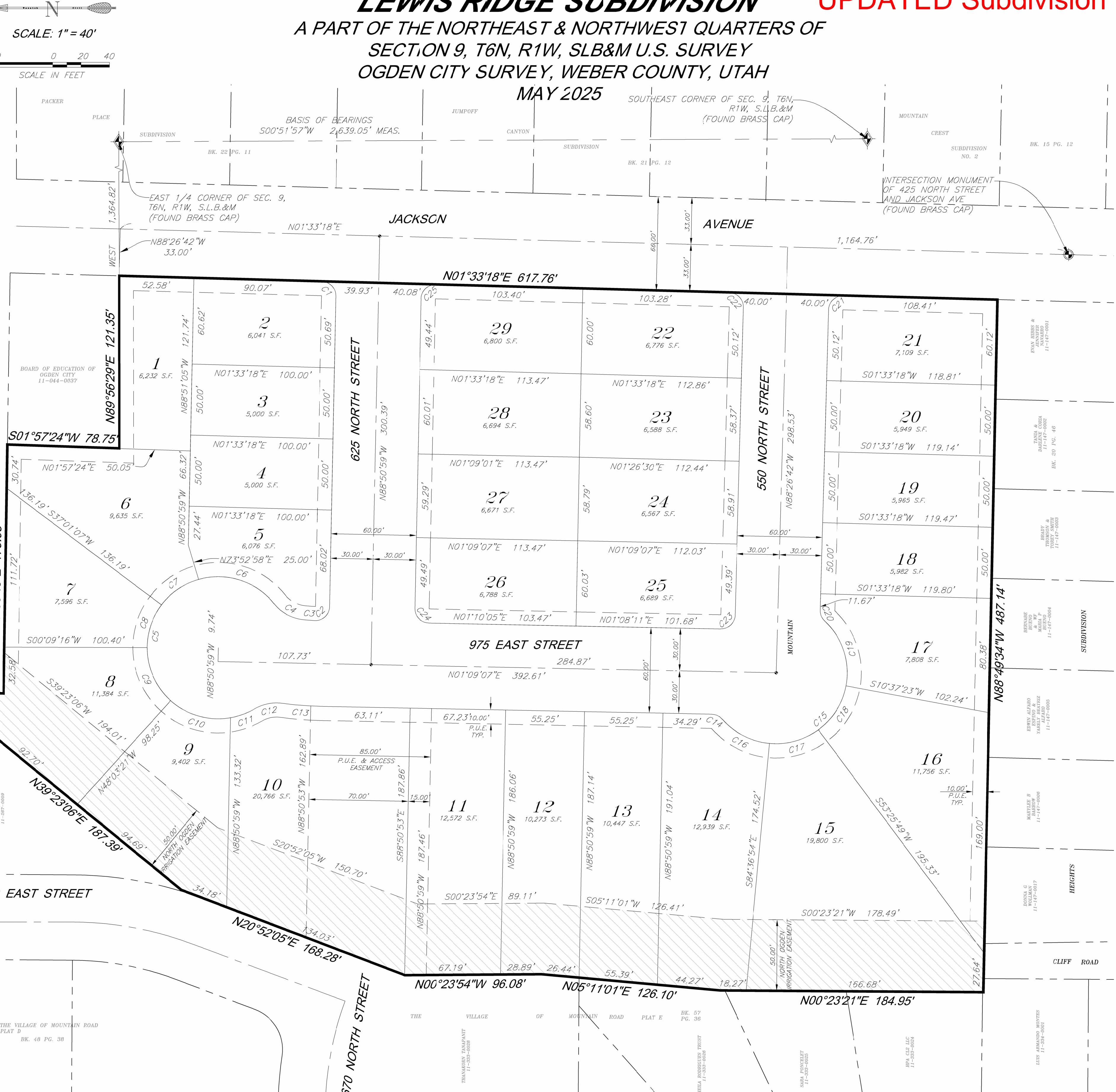
Curve Table						
Curve	Radius	Length	Tangent	Delta	Chord	Bearing
C1	10.00'	15.64'	9.93'	89°35'43"	14.09'	N46°21'10"E
C2	10.00'	16.02'	10.32'	91°47'45"	14.36'	S42°57'06"E
C3	170.00'	7.84'	3.92'	238°27"	7.83'	S04°16'00"W
C4	30.00'	24.22'	12.82'	46°15'51"	23.57'	S28°43'09"W
C5	50.01'	229.20'	56.95'	262°34'31"	75.16'	N79°26'11"W
C6	50.01'	59.33'	33.71'	67°58'07"	55.91'	N17°52'01"E
C7	50.01'	32.18'	16.67'	36°51'51"	31.63'	N34°32'58"W
C8	50.01'	32.18'	16.67'	36°51'51"	31.63'	N71°24'49"W
C9	50.01'	42.08'	22.38'	48°12'37"	40.85'	S66°02'58"W
C10	50.01'	45.35'	24.37'	51°57'24"	43.81'	S15°57'57"W
C11	50.01'	18.08'	9.14'	20°42'42"	17.98'	S20°22'06"E
C12	30.00'	20.22'	10.51'	38°36'37"	19.84'	N11°25'08"W
C13	230.00'	27.04'	13.54'	6°44'09"	27.02'	S04°31'06"W
C14	10.00'	8.41'	4.47'	48°11'27"	8.17'	N25°14'51"E
C15	50.00'	162.30'	957.64'	185°58'39"	99.86'	S43°38'45"E
C16	50.00'	38.36'	20.18'	43°57'28"	37.43'	S27°21'50"W
C17	50.00'	36.61'	19.17'	41°57'18"	35.80'	S15°35'33"E
C18	50.00'	37.36'	19.60'	42°48'26"	36.49'	S57°58'24"E
C19	50.00'	49.97'	27.29'	57°15'28"	47.91'	N71°59'39"E
C20	10.00'	8.41'	4.47'	48°11'23"	8.16'	S67°27'36"W
C21	10.00'	15.71'	10.00'	90°00'00"	14.14'	N43°26'42"W
C22	10.00'	15.71'	10.00'	90°00'00"	14.14'	S46°33'18"W
C23	10.00'	15.64'	9.93'	89°35'51"	14.09'	N43°38'47"W
C24	10.00'	15.71'	10.00'	89°59'53"	14.14'	N46°09'05"E
C25	10.00'	15.78'	10.07'	90°24'17"	14.19'	S43°38'50"E

LEWIS RIDGE SUBDIVISION

UPDATED Subdivision Plat

A PART OF THE NORTHEAST & NORTHWEST QUARTERS OF
SECTION 9, T6N, R1W, SLB&M U.S. SURVEY
OGDEN CITY SURVEY, WEBER COUNTY, UTAH

MAY 2025



LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- 10' WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT UNLESS OTHERWISE SPECIFIED
- EXISTING PROPERTY LINES
- BUILDING SETBACK LINES
- CENTER LINE
- FOUND SECTION CORNER
- STREET MONUMENT TO BE SET
- FOUND STREET MONUMENT
- REBAR FOUND
- REBAR SET
- FOUND NAIL PROPERTY MARKER

PREPARED BY:

WC

WASATCH CIVIL
CONSULTING ENGINEERING
1150 DEPOT DRIVE, SUITE 225, OGDEN, UT 84404
(801) 775-9191 WASATCHCIVIL.COM

OGDEN CITY ATTORNEY'S OFFICE

APPROVED BY THE OGDEN CITY ATTORNEY'S OFFICE
THIS 20 DAY OF May, 2025.

OGDEN CITY ENGINEER

I HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE MINIMUM REQUIREMENTS OF THE OGDEN CITY ORDINANCES THIS OFFICE IS REQUIRED TO REVIEW AND APPROVE.
SIGNED THIS 20 DAY OF May, 2025.

OGDEN CITY COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

I HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE MINIMUM REQUIREMENTS OF THE OGDEN CITY ORDINANCES THIS OFFICE IS REQUIRED TO REVIEW AND APPROVE.
SIGNED THIS 20 DAY OF May, 2025.

OGDEN CITY APPROVAL

THIS PLAT AND ANY DEDICATIONS OFFERED HEREIN ARE APPROVED AND ACCEPTED BY THE MAYOR OF OGDEN CITY
THIS 20 DAY OF May, 2025.

MICHAEL P. CALDWELL, MAYOR
ATTEST:
CITY RECORDER
BY: DEPUTY

SURVEYORS CERTIFICATE
I, BRIAN A. LINAM, A LICENSED PROFESSIONAL LAND SURVEYOR AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22 AND HOLDING LICENSE NUMBER 7240531, DO HEREBY CERTIFY THAT A SURVEY OF THIS PLAT OF LEWIS RIDGE SUBDIVISION IN OGDEN CITY, WEBER COUNTY, UTAH HAS BEEN MADE BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH SECTION 17-23-17 AND HAS BEEN CORRECTLY DRAWN TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE FOLLOWING DESCRIPTION OF LANDS INCLUDED IN SAID SUBDIVISION BASED ON DATA COMPILED FROM THE RECORDS IN THE WEBER COUNTY RECORDER'S OFFICE AND OF A SURVEY MADE ON THE GROUND.

SIGNED THIS 20 DAY OF May, 2025.



BOUNDARY DESCRIPTION

A PART OF THE NORTHEAST AND NORTHWEST QUARTERS OF SECTION 9, TOWNSHIP 6 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN U.S. SURVEY, BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF JACKSON AVENUE, WHICH IS 1,364.82 FEET WEST FROM THE EAST QUARTER CORNER OF SAID SECTION 9, SAID POINT IS ALSO 1,164.76 FEET NORTH 01°33'18" EAST, AND 33.00 FEET NORTH 88°26'42" WEST, FROM THE CENTERLINE MONUMENT AT THE INTERSECTION OF 425 NORTH STREET AND JACKSON AVENUE, (BASIS OF BEARINGS IS SOUTH 00°51'57" WEST 2,639.05 FEET BETWEEN THE BRASS CAP MONUMENTS MARKING THE EAST QUARTER CORNER OF SECTION 9, T.6,N. R.1,W LYING IN HARRISON BOULEVARD); AND RUNNING THENCE SOUTH 01°33'18" WEST 617.76 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF CLIFF HEIGHTS SUBDIVISION AS RECORDED IN BOOK 20 AT PAGE 46 IN THE WEBER COUNTY RECORDER'S OFFICE; THENCE NORTH 88°49'34" WEST 487.14 FEET ALONG THE NORTHERLY LINE OF SAID SUBDIVISION AND ITS WESTERLY EXTENSION TO THE SOUTHEAST CORNER OF THE VILLAGE OF MOUNTAIN ROAD PLAT E, RECORDED IN BOOK 57 AT PAGE 36 AT THE OFFICE OF THE WEBER COUNTY RECORDER, THENCE ALONG SAID VILLAGE OF MOUNTAIN ROAD PLATE THE FOLLOWING THREE (3) COURSES: (1) NORTH 00°23'21" EAST 184.95 FEET; (2) NORTH 05°11'01" EAST 126.10 FEET; (3) NORTH 02°23'54" WEST 96.08 FEET TO THE SOUTHEAST CORNER OF THE VILLAGE OF MOUNTAIN ROAD PLAT D, RECORDED IN BOOK 48 AT PAGE 38 AT THE OFFICE OF THE WEBER COUNTY RECORDER; THENCE ALONG SAID SUBDIVISION THE FOLLOWING FOUR (4) COURSES: (1) NORTH 20°52'06" EAST 168.28 FEET WHICH IS ALSO ALONG THE EASTERLY RIGHT-OF-WAY LINE OF 950 EAST STREET; (2) NORTH 39°23'06" EAST 187.39 FEET; (3) NORTH 18°55'34" EAST 73.83 FEET; (4) NORTH 07°58'36" WEST 11.64 FEET; THENCE NORTH 85°24'33" EAST 29.01 FEET TO CENTERLINE OF CANAL PREVIOUSLY DESCRIBED IN ENTRY NO. 3286782 RECORDED AT THE OFFICE OF THE WEBER COUNTY RECORDER; THENCE THE FOLLOWING THREE (3) COURSES: (1) SOUTH 20°45'46" WEST 60.40 FEET; (2) SOUTH 27°52'02" WEST 21.24 FEET; (3) SOUTH 01°35'55" WEST 25.66 FEET TO A WESTERLY EXTENSION OF AN EXISTING FENCE AND BOUNDARY LINE ADJUSTMENT; THENCE ALONG SAID BOUNDARY LINE ADJUSTMENT THE FOLLOWING TWO (2) COURSES: (1) SOUTH 89°06'40" EAST 175.05 FEET ALONG AN EXISTING FENCE AND ITS WESTERLY EXTENSION TO A FENCE CORNER; (2) SOUTH 01°57'24" WEST 78.75 FEET ALONG AN EXISTING FENCE TO A FENCE CORNER; THENCE NORTH 89°56'29" EAST 121.35 FEET TO THE POINT OF BEGINNING.

CONTAINING 312,630 SQUARE FEET OR 7.177 ACRES, MORE OR LESS.
29 LOTS

BASIS OF BEARINGS

BASIS OF BEARINGS IS SOUTH 89°01'11" EAST 2709.27 FEET BETWEEN THE SOUTHWEST CORNER AND THE SOUTH QUARTER CORNER OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

ALL BEARINGS AND DISTANCES SHOWN ON THE PLAN HAVE BEEN ROTATED TO MATCH UTAH STATE PLANE NAD 1927 GRID BEARINGS AS ESTABLISHED AND MAINTAINED BY THE WEBER COUNTY SURVEYOR'S OFFICE. THIS ROTATION IS CLOCKWISE 00°24'46" FROM THE BASIS OF BEARING SHOWN ON NORTH VIEW ESTATES SUBDIVISION PHASE 1 AND ON NORTH OGDEN COVE 2ND AMENDMENT.

OWNERS DEDICATION

THE UNDERSIGNED OWNERS OF THE HERON DESCRIBED TRACT OF LAND HEREBY SET APART AND SUBDIVIDE THE SAME TRACT INTO LOTS AND STREETS AS SHOWN ON THIS PLAT, AND ASSIGN THE LANDS INCLUDED IN THIS PLAT THE NAME OF LEWIS RIDGE SUBDIVISION, AND HEREBY DEDICATE, GRANT AND CONVEY TO OGDEN CITY ALL THOSE PORTIONS OF SAID TRACT OF LAND DESIGNATED HEREON AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER, AND FURTHER DEDICATE, GRANT AND CONVEY TO OGDEN CITY AN EASEMENT FOR THOSE CERTAIN STRIPS DESIGNATED HEREON AS MUNICIPAL UTILITY EASEMENTS (MUE), THE SAME TO BE USED FOR DRAINAGE PURPOSES AND THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AS MAY BE AUTHORIZED BY OGDEN CITY WITH NO BUILDINGS OR STRUCTURES BEING ERECTED WITHIN SUCH EASEMENTS; AND FURTHER DEDICATE, GRANT AND CONVEY TO OGDEN CITY AN EASEMENT FOR THOSE CERTAIN AREAS DESIGNATED HEREON AS STORM DRAIN EASEMENT TO BE USED FOR STORM DETENTION AND THE INSTALLATION, MAINTENANCE, AND OPERATION OF STORM DRAINAGE AND DETENTION FACILITIES.

SIGNED THIS 20 DAY OF May, 2025.

BEN NADOLSKI
MAYOR OF OGDEN CITY CORPORATION

CORPORATE ACKNOWLEDGEMENT

STATE OF UTAH
COUNTY OF WEBER

ON THE 20 DAY OF May, 2025, BEN NADOLSKI PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY, AND AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE MAYOR OF OGDEN CITY CORPORATION, AND THAT HE SIGNED THE OWNERS DEDICATION FREELY, VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION NUMBER: _____
PRINT NAME: _____
MY COMMISSION EXPIRES: 20.

NOTARY PUBLIC (SIGNATURE)

ENTRY NO. _____ FEE PAID _____
RECORDED _____
AT _____ IN BOOK _____
OF OFFICIAL RECORDS, PAGE _____
FOR _____
COUNTY RECORDER _____
BY: DEPUTY _____

A:\14-030EN\700-MSC\605-JACKSON SUBDIVISION\CAD\BASE-DRAWINGS\BASE-FGGSRENNY-RFDI INFS DWG 2/24/2025 11:06:37 AM

WU

WASATCH CIVIL

CONSULTING ENGINEERING

50 0 25 50

SCALE IN FEET

DESIGNED C.S.

DRAWN C.M.B.

CHECKED X.X.X.

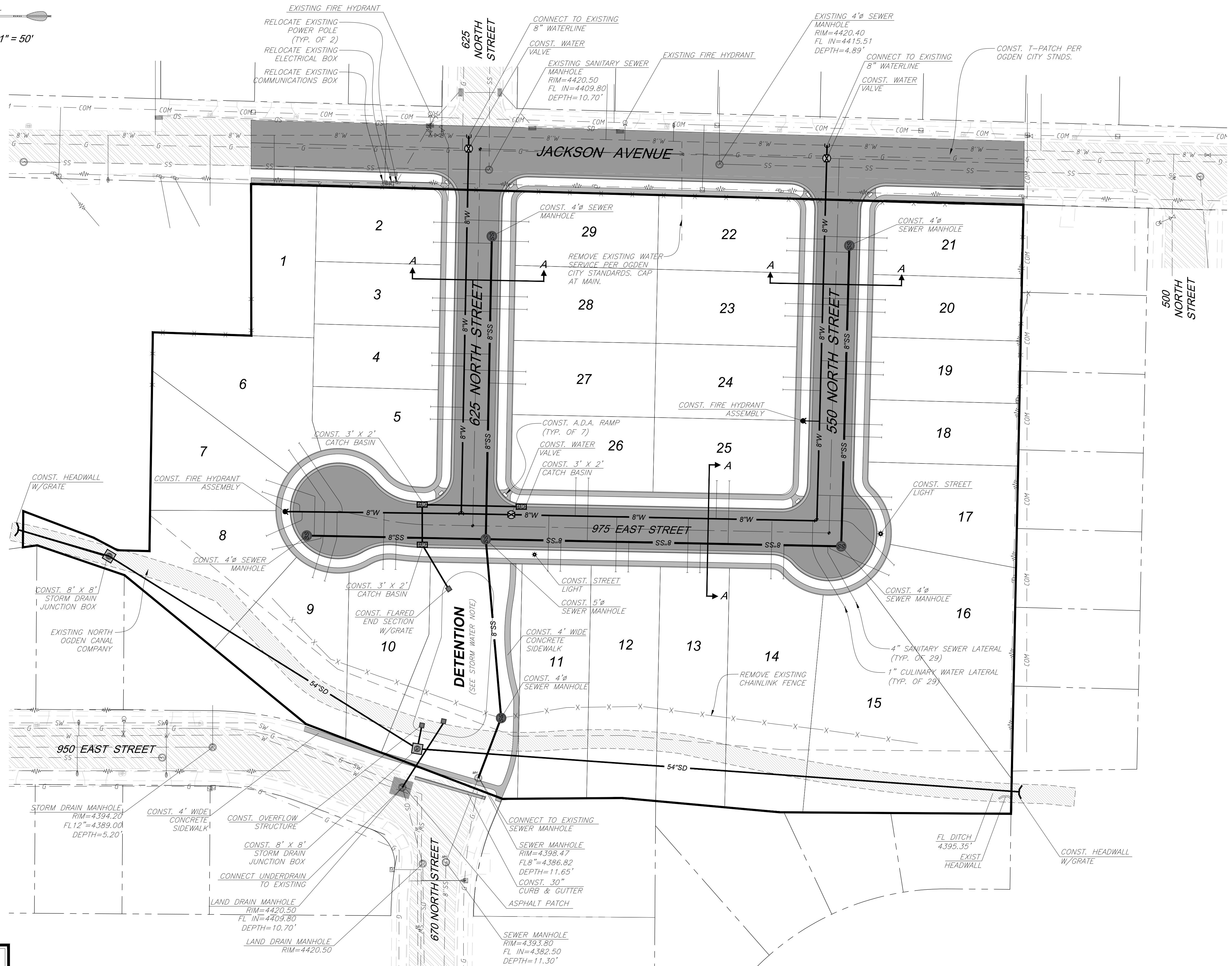
JAN. 10, 2025

E: 1"=50'

***OGDEN CITY
CORPORATION***

605 JACKSON SUBDIVISION

SHEET:
2
OF 3 SHEETS



STORM WATER DETENTION NOTE:
REQUIRED STORAGE (UNDERDRAIN OUTLET) - 11,968 C.F.
REQUIRED STORAGE (DETENTION) - 7,692 C.F.
PROVIDED STORAGE W/ UNDERDRAIN - 14,000 C.F.

R.O.W.

60.00'

R.O.W.

4.00' 7.00' 2.50' 15.50' 15.50' 2.50' 7.00' 4.00' 1.00'

4" THICK CONCRETE
SIDEWALK

PARKSTRIP

CURB &
GUTTER

SLOPE = 2.00%

CURB &
GUTTER

3" HOT MIX ASPHALT

SLOPE = 2.00%

CURB &
GUTTER

3" HOT MIX ASPHALT

SLOPE = 2.00%

CURB &
GUTTER

3" HOT MIX ASPHALT

SLOPE = 2.00%

CURB &
GUTTER

3" HOT MIX ASPHALT

SLOPE = 2.00%

CURB &
GUTTER

3" HOT MIX ASPHALT

SLOPE = 2.00%

CURB &
GUTTER

3" HOT MIX ASPHALT

SLOPE = 2.00%

PARKSTRIP

4" THICK CONCRETE
SIDEWALK

PARKSTRIP

CURB &
GUTTER

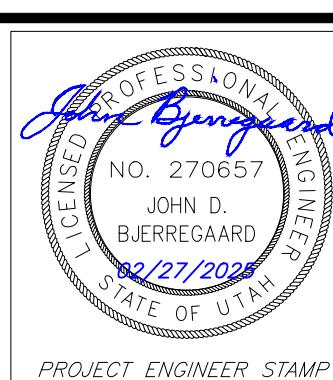
4" THICK CONCRETE
SIDEWALK

SUBGRADE

10" THICK UNTREATED BASE COURSE
(95% COMPACTION, ASTM D 1557)

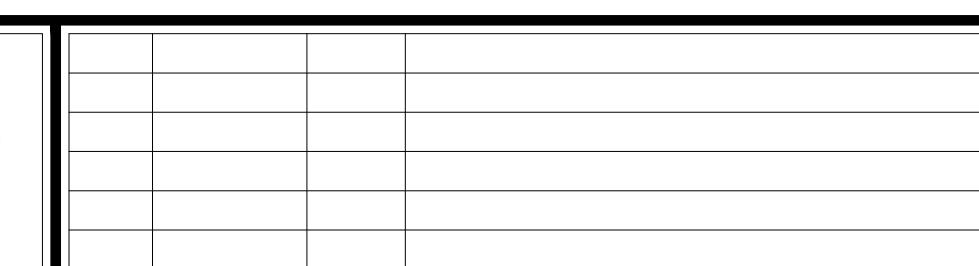
PAVEMENT CROSS SECTION - A-A

SCALE 1" = 2'



WC

WASATCH CIVIL
CONSULTING ENGINEERING
1150 DEPOT DRIVE, SUITE 225, OGDEN, UT 84404
(801) 775-9191 WASATCHCIVIL.COM



DESIGNED C.S. DATE JAN. 10, 2025
DRAWN C.M.B. SCALE: _____
CHECKED J.D.B. _____

**OGDEN CITY
CORPORATION**

605 JACKSON SUBDIVISION
DETAIL

3
OF 3 SHEETS



OGDEN CITY PLANNING COMMISSION

June 4, 2025

AGENDA ITEM- 3

Attachment #5- Application

		Subdivision Application	
		Ogden City Development Services 2549 Washington Blvd. Suite 240 Ogden, Utah 84401 (801) 629-8930	
<i>Please print legibly and complete all areas:</i>			
Subdivision name: 605 N. Jackson Ave - Lewis Ridge			
Address: 605 N. Jackson Ave.			
Applicant Name: Ogden City Community Development - Jeremy Smith			
Address: 2549 Washington Blvd Suite 120		City: Ogden	State: UT Zip: 84403
E-mail: jeremysmith@ogdencity.gov		Phone: 801-629-8940	
Engineering and/or Surveying Contact: Wasatch Civil Engineering			
Phone: 801-775-9191		E-mail: chaz@wasatchcivil.com	
Submittal Checklist <input type="checkbox"/> Public <input type="checkbox"/> Private (Please check one)			
<input type="checkbox"/> One current copy of the Weber County ownership plats showing the proposed subdivision and all contiguous property.			
<input type="checkbox"/> One copy of a recent, preliminary title report showing ownership, easements, liens or other encumbrances and proof of property tax assessments and payments.			
<input type="checkbox"/> Two copies of covenants, conditions, and restrictions. (CC&Rs) Private subdivisions only.			
<input type="checkbox"/> 15 copies of a preliminary plat to include: <ul style="list-style-type: none">• Name of the proposed subdivision (<i>not previously used in Weber County</i>)• Identification of the lots, common areas and limited common areas (<i>Private subdivision only</i>)• Include all land within 100 feet from the subject property.• If the subject property is part of a larger tract, a separate plan showing the proposed future street system is required.• Site contours at 5-foot intervals (maximum) for grades not exceeding 30%, or ten-foot intervals (maximum) for property located within the Sensitive Area Overlay Zone or for property with grades exceeding 30%.• The boundaries, course, and dimensions of the property to be subdivided.• The location, widths, and other dimensions of all existing or platted streets and other important features of the subject property which may affect development, including but not limited to, easements of record, railroad lines, watercourses, floodplains, exceptional topography and buildings within the tract or within one hundred feet of the tract to be subdivided.• The location and size of existing sanitary sewers, storm drains, water supply mains, existing fire hydrants and culverts within the subject property or within one hundred feet thereof.• The location, lengths, widths (all dimensions) of proposed blocks, streets, alleys, easements, lots, units, and common areas.• Proposed special features, such as detention basins, shared access areas and parks.• North arrow, scale, and date of preparation.• The names of the subdivider, and the engineer or surveyor.			
<input type="checkbox"/> An initial public improvement plan to include: <ul style="list-style-type: none">• Location and size of all proposed sanitary sewers, water mains, storm sewers and storm detention basins, and their connection to existing facilities, include manholes, fire hydrants, valves, and identify the water pressure in existing water mains.• Proposed grades and widths of streets. Provide information to show how proposed mains and lines will be fed by gravity.• Any proposed variations from the standards for public improvements adopted under Chapter 3 of the subdivision ordinance.• Identify all private streets and any or all portions of water, sanitary sewer, or storm sewer facilities located within private streets, which the subdivider is requesting to be owned and maintained by the city.• Soil test that meets the satisfaction of the Building Services Division.			
<input type="checkbox"/> FEES: <ul style="list-style-type: none">• Preliminary: \$1,000 + \$150/lot or unit• Final: \$450 + \$10/lot or unit			
*If within the Sensitive Area Overlay Zone: add \$1,500 + \$150/lot or unit and the cost of 3rd party review			

Explanation: Preliminary plat approval is valid for eighteen (18) months from the date of application. Within this time frame the applicant shall receive approval of the final plat and record it with the county recorder's office.

(Signature)

(Date)

2/26/25



OGDEN CITY PLANNING COMMISSION

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Attachment #6- Corrections Report (7 pages)

PLAN CORRECTIONS REPORT PREDEV000363-2025 FOR OGDEN CITY

PLAN ADDRESS: 605 N Jackson Ave
Ogden, UT 84404 **PARCEL:** 11-071-0039

APPLICATION DATE: 03/03/2025 **SQUARE FEET:** 0.00 **DESCRIPTION:** 605 Jackson 29 Lot Single-Family Subdivision

EXPIRATION DATE: **VALUATION:** \$0.00

CONTACTS	Name	Company	Address
Applicant	JEREMY SMITH	OGDEN CITY REDEVELOPMEN ¹ AGENCY	2549 Washington Blvd, Ste 120 Ogden, UT 84401
Engineer	Chaz Schlange		
Owner	JEREMY SMITH	OGDEN CITY REDEVELOPMEN ¹ AGENCY	2549 Washington Blvd, Ste 120 Ogden, UT 84401

Subdivision Plan Review

REVIEW ITEM	STATUS	REVIEWER
Building v.1	Approved	Steve Patrick Ph: 801-629-8957 email: stevep@ogdencity.com
Building		
Eng. Project Coordinator v.1	Requires Resubmit	Jeff Barnaby Ph: 801-629-8986 email: jeffba@ogdencity.com
Eng. Project Coordinator		
Correction: Financial Guarantee - Jeff Barnaby (4/18/25) - Not Resolved Comments: This site will require a Financial Guarantee for Right of Way Improvements and Utility Work. I have emailed the Financial Guarantee Worksheet on 4-23-25. This will need to be filled out and returned prior to the next review.		
Engineering v.1	Requires Resubmit	Dalton Richins Ph: 801-629-8998 email: Daltonr@ogdencity.com
Engineering		
Correction: Storm Water - Dalton Richins (4/17/25) - Not Resolved Comments: Storm Water		

PLAN CORRECTIONS REPORT (PREDEV000363-2025)

Corrective Action: Provide stormwater calculations, using the rational method.

Retention systems must be designed for a 100-year 24-hour storm event, with no release.

Detention systems must be designed for a 25-year storm event, with a max release of 0.1 cfs/acre.

The plan shows a connection to the irrigation canal, that requires written permission from the canal company. The letter must also indicate the discharge limits.

The connection is labeled as an overflow, is that the emergency overflow? Is it not possible to overland overflow to 670 N/950 E
Is the plan to have a controlled discharge into the canal?

There are different rules associated with retention and detention systems. I am a bit confused about what is being proposed, so the rules for both are below. Please call me with any questions.

For detention systems, a water quality unit must be installed prior to releasing into the city storm system.

The water quality unit must be able to remove 50% of the TSS with a median particle size of 75 microns. Provide the testing that indicates that the unit is capable of this efficiency. The testing must be from the NJDEP.

The minimum orifice size is 3".

Stormwater cannot be released into an irrigation canal. It must be released into a city storm system or retained on site.

Retention systems are required to be able to infiltrate within 72-hours of a storm event. The infiltration rate can be determined one of two ways:

Indicate the Hydrologic Soil Group (HSG) and the associated infiltration rate from the Ogden City Stormwater Design Manual. Or

A Double Ring Infiltrometer test can be performed and a safety factor of 2.5 can be applied to the results. Ogden City does not accept infiltration test results.

Provide calculations indicating how long it will take for the retention system to infiltrate, in hours.

All calculations must have a valid engineer's stamp.

The plans show a land drain being extended to under the pond.

The line type needs to indicate land drain, not SD for storm drain. This applies to the existing in 950 E/670 N. We want to prevent confusion.

Provide an infiltration rate for the proposed pond, with the land drain system, and indicate the infiltration time.

The land drain CANNOT have a direct connection to the pond. The water needs to be drained via infiltration/percolation.

Provide details about the pipe extension (size, material, slope, perforation, fabric wrap, gravel? Etc.)

The land drain need to extend further so the end of the pip is out of the pond so a manhole for flushing can be installed. Nothing can tie into that manhole. It needs to be a solid lid with a land drain label.

We may want a structure that can be locked for this flush location.

Above ground storage ponds can have a maximum side slope of 3H:1V.

Stormwater overflow must be directed towards the public ROW to make sure neighboring properties don't get flooded. Indicate the overflow path on the plans.

Provide grading information to show how water will flow on the individual lots as well as to show the elevation between the detention pond and 950 E/670 N.

Storm pipe in the public ROW needs to be RCP. Pipe size is determined by capacity but shall not be less than 15-inch. Minimum slope is based on the pipe size. (Minimum 15-inch pipe slope is 0.32%)

Minimum Class III pipe, but Ogden City can require a greater class depending on location, depth, expected load, etc.

Provide information about the storm pipes.

A monitoring and maintenance plan must be submitted indicating how the storm system will be inspected and maintained. The plan must include how each portion of the system (Pipes, inlets, water quality units, ponds, underground storage, etc.) is going to be maintained and how frequently the maintenance/inspections will occur.

The frequency, maintenance indicators, and maintenance methods need to be specific and measurable, not opinion based.

(Examples: weekly/monthly/annual inspections, time-based maintenance, sediment depth-based maintenance, list the equipment used to maintain each portion, etc.)

If the manufacturer's details are going to be referenced, they need to be included in the plan.

This plan will service as an instruction guide to someone who is not familiar with the system.

This plan must be stamped, signed, and dated by a licensed professional engineer.

Who is going to maintain the pond? Is there going to be some sort of HOA? Is the plan to dedicate it to Ogden City for maintenance?

Depending on the plan for maintenance, an Ogden City Stormwater Agreement may need to be completed and submitted.

Per state requirement, a water quality report is required.

(<https://deq.utah.gov/water-quality/low-impact-development>)

The 80th percentile storm is 0.48 in for areas west of Harrison Blvd and 0.61 in for areas east of Harrison Blvd.

The LID template is at the bottom of the provided link.



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PLAN CORRECTIONS REPORT (PREDEV000363-2025)

Indicate the infiltration determined using one of the previously listed methods.
If LID does not apply, that can be claimed on the report, but the report must be submitted.

Provide a response letter that clearly indicates how each comment was addressed.

Include, and reference, all relevant Ogden City standard details.
Use the current edition of the Ogden City Engineering Standards.
The new engineering standards have just been adopted, the current edition is 2025.
Correction: Roadway Design - Dalton Richins (4/17/25) - Not Resolved
Comments: Roadway Design

PLAN CORRECTIONS REPORT (PREDEV000363-2025)

Corrective Action: Engineering cannot complete a full review at this time based on the submittal provided. Please submit all information per the Ogden City Engineering standards. At this time, Engineering reserves the right to add additional comments based on required information not provided as part of this submittal.

Please reach out with any questions.

It is recommended that you use the Ogden City Review checklist, it should help streamline the review process. It is planned to be a requirement in future.
(<https://www.ogdencity.com/DocumentCenter/View/26580/Engineering-Review-Checklist>)

I think the wrong scale is indicated on the plans. The plans show a 1"= 50' but that makes a bunch of measurements off. If I swap to a 1" = 40' scale then it seems to solve that problem.

The plans will be reviewed with the scale that is indicated on the plans (1:50), but be aware that might be the issue with some of the comments.

Provide a letter, from the canal company, that indicates they approve of the changes occurring to their canal. The letter also needs to approve of the detention systems connection to their canal and specify the discharge limitations.

Drive approaches must be installed per Ogden City Standard. Show all drive approaches on the improvement plans.
Include and reference the Ogden City Standard detail for drive approaches.
Properties fronting the cul-de-sac and knuckle will not need approaches due to the mountable curb.

Provide a complete set of improvement plans. (Demo plan, grading plan, utility plan, landscaping plan, detail sheets, etc.)

Provide grading information for all the curb and gutter, including along Jackson Ave.
The curb needs to meet minimum slopes and needs to drain correctly.
Down hill cul-de-sacs are not allowed.

Will the curb on Jackson Ave drain to the pond or go into the existing storm pipe in Jackson Ave?
Do inlets on Jackson Ave need to be added?
Please clarify.

The curb/gutter will need to be placed per Ogden City Standard. The placement is based on the ROW width/ road classification. The new road's curb will need to be adjusted to match the requirement for its ROW width.
Reference the Ogden City Road Section Standard Detail for placement.
(Might be due to an incorrect scale)

The roadway section detail on the last page shows 15.5' from center to lip, but it is supposed to be 16'.

The curb on Jackson Ave will need to match the width of the existing curb to the south.
The plan's scale has the lip to lip width at approximately 45 feet, but google earth measurement has the existing lip to lip at about 36 feet.
(Might be due to an incorrect scale)

The new sidewalk will need to be 4 feet wide, not 5 feet.
The sidewalk placement/park strip width is dependent on the classification of the road.
Reference the Ogden City Road Section Standard Detail for placement.
(Might be due to an incorrect scale)

I am assuming that the dark gray hatch on Jackson Ave is all new asphalt, but there is nothing directly indicating that. There is a label that references a tee patch but that is not exactly right, the tee patch only applies to trenches. I assume the intent is not to completely remove all of the asphalt in Jackson Ave, but to instead a mill and overlay to make one continuous patch.
Please clarify.

The cul-de-sac is not correct. Refer to the Ogden City Standard detail for cul-de-sacs.
The sidewalk will need to be 6' wide directly behind the curb.
The curb in the cul-de-sac will need to be type F. Indicate the curb transition from type A to Type F. The transition must be 10 feet long.

The knuckle will need to follow the same standards as a cul-de-sac. (6' wide sidewalk directly behind curb, type F curb, 10-foot curb transitions.)

The cul-de-sac radius is incorrect. With a 1:50 scale it is too big, and with a 1:40 scale it is too small.
(This applies to the knuckle too.)

The curb/gutter and sidewalk on 670 N/950 E needs to be adjusted so the road is a curve and not a corner. Additional curb/asphalt will likely need to be removed in order to accomplish this. We just want to eliminate that award spur without narrowing the road.
Indicate what landscaping will be installed behind this new curve.

The existing curb on 950 E will likely need some attention, on google streets, the plant look like they have partially overtaken the curb.



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PLAN CORRECTIONS REPORT (PREDEV000363-2025)

The intersection radiiuses are incorrect. (Might be due to an incorrect scale)

Streetlights will need to be installed at the intersections and the cul-de-sac/knuckle.

Add a note to the plans that states that all work will comply with Ogden City Standards.

The plat needs a valid surveyor's stamp, not an engineer's stamp. (Signature and date across the seal.)

There must be a 10' MUE along all public ROWs and a 5' MUE along all other property lines.
Change any PUE (Public Utility Easement) labels to MUE (Municipal Utility Easement).

Provide information about parcel A and the intent for it. I know the detention pond will be on it, but will some sort of HOA own/maintain it? Is it intended to dedicate that parcel to the city for maintenance? Will easements be needed for that parcel? Etc.

Provide a response letter that clearly indicates how each comment was addressed.

Include, and reference, all relevant Ogden City standard details (Asphalt patch, trench, sidewalk, curb/gutter, drive approach, etc.)
Use the current edition of the Ogden City Engineering Standards.

The new engineering standards have just been adopted, the current edition is 2025.

Correction: Sanitary Sewer - Dalton Richins (4/17/25) - Not Resolved

Comments: Sanitary Sewer

Corrective Action: Provide more information about the sewer lines. (size, slope, material, etc.)

Include and reference all Ogden City Standard Details that are relevant to the proposed sewer line(s).

Provide information about the sewer laterals (Size, material, slope, etc.)

Manholes with 3 or more pipes, or where the pipe changes direction by 45 degrees or more, need to be 5 feet in diameter.
The manhole near lot 16 needs to be 5'.

Sewer mains must have 7' of cover over the pipe.

Provide elevation data and a profile.

How does the sewer line interact with the irrigation canal?

Sewer lines need to have at least 10 feet of horizontal separation from any water line.

When a sewer line or lateral crosses a culinary water line/lateral, there must be at least 18 inches of vertical separation, with the water being above the sewer.

Add notes to the plans indicating this.

Provide a response letter that clearly indicates how each comment was addressed.

Include, and reference, all relevant Ogden City standard details. (Sewer lateral, cleanout, manholes, etc.)
Use the current edition of the Ogden City Engineering Standards.

The new engineering standards have just been adopted, the current edition is 2025.

Correction: Water - Dalton Richins (4/17/25) - Not Resolved

Comments: Water



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PLAN CORRECTIONS REPORT (PREDEV000363-2025)

Corrective Action: Provide more information about the water lines. (size, material, etc.)
Include and reference all Ogden City Standard Details that are relevant to the proposed water line(s).

Provide information about the water laterals (Size, material, etc.)
Indicate the size and location of the water meters, (1 foot back of curb)

There must be at least 4' of cover over water lines. Include the waterline on the profile.

Water lines must have at least 10 feet of horizontal separation from all other wet utilities.
When water lines cross wet utilities, they must cross at a 90-degree angle and have 18 inches of vertical separation with the water above the sewer.
Add notes to the plans indicating this.

Tracer wire must be included on all new water lines.

The plan must show all mains, meters, laterals, valves, fittings, thrust blocks, and all other appurtenances and their size, material, etc.

Fire hydrant lines must be 6" ductile iron pipe.
Include and reference the Ogden City Standard Detail for fire hydrants.

Dead end waterlines must end in a phase break.
Include and reference the Ogden City Standard detail for phase breaks.

The Developer/Engineer must coordinate all water taps with the Ogden City Water Department with Ted Bullock at 801-629-8363 or David LaMay at 801-629-8354.

Provide a flow test. Coordinate all flow tests with the Ogden City Water Department
The flow test must be performed on two hydrants that are serviced by the same main that is servicing the development. The flow test report must indicate the hydrants that were used, the static pressure, the residual pressure, the volume flowed, and the calculated flow at 20 psi.

Provide a response letter that clearly indicates how each comment was addressed.

Include, and reference, all relevant Ogden City standard details. (Laterals, meters, fire hydrants, etc.)
Use the current edition of the Ogden City Engineering Standards.
The new engineering standards have just been adopted, the current edition is 2025.

Engineering - Addressing v.1	Requires Resubmit	Russell Eldredge Ph: 801-629-8969 email: russelle@ogdencity.com
Engineering - Addressing		
Correction: Addresses - Russell Eldredge (4/22/25) - Not Resolved		
Comments: Addresses have been sent to both Jeremy Smith (Ogden City) and Chaz Schlange (Wasatch Civil) 4/22/25		
Corrective Action: Add parcel addressing to subdivision plat and Site Plan pages.		
Engineering - Surveyor v.1	Approved	Steve Porter Ph: 801-629-8979 email: stevepor@ogdencity.com
Engineering - Surveyor		
Fire v.1	Approved	Kevin Brown Ph: 801-629-8070 email: kevinb@ogdencity.com
Fire		
Legal v.1	Requires Resubmit	James Tanner Ph: 801-629-8142 email: jamest@ogdencity.com
Legal		
Correction: General Plat Layout - James Tanner (4/16/25) - Not Resolved		
Comments: General Plat Layout		
Corrective Action: This subdivision plat does not have all necessary elements that encompass a subdivision plat (i.e., boundary description, owner's dedication, signature blocks, existing easements and related matters found on the title report, lot addresses, etc.). Thus, I am unable to provide a legal review for this subdivision plat.		
Planning v.1	Requires Resubmit	Joseph Simpson Ph: 801-629-8923 email: josephs@ogdencity.com
Planning		
Correction: Additional Review - Joseph Simpson (4/21/25) - Not Resolved		
Comments: Planning Commission Review Required		



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PLAN CORRECTIONS REPORT (PREDEV000363-2025)

Corrective Action: The subdivision plat will need to be reviewed and approved by the Planning Commission. The plat and associated plans/documents must reflect any and all conditions and/or requirements established by the commission as part of this review.

Correction: Lot/Parcel Lines - Joseph Simpson (4/21/25) - Not Resolved

Comments: Lot Width Requirements

Corrective Action: The lots in the subdivision must meet the minimum lot width requirements established by the R-1-5 zone. The subdivision plat will need to be modified to show the minimum 60' wide corner lot widths of the proposed lots: 21, 22, 25, 26, and 29 will be met. Additionally, the plat will need to be modified to show that 50' lot widths will be met at the required front yard setbacks, which is 25'. Lots 6 and 7 will need to be modified to meet this minimum lot width requirement.

Water v.1

Water

Approved

Joseph Swift email: josephsw@ogdencity.com

Attachment #7- Public Notice (3 pages)



You are invited to participate in a public meeting and share information relating to the 605 Jackson Subdivision to create 29 single-family lots located at approximately 605 N Jackson Avenue

Additional information will be available at PlanningNotices.ogdencity.com

You may also join the meeting electronically:
Zoom Meeting

<https://us02web.zoom.us/j/88441486504>
Meeting ID: 884 4148 6504
password: 685679
One tap mobile +13462487799 303518814#



In order to comment or participate: (emails must be received by June 3, 2025 at noon)

Email: planning@ogdencity.com - your email will be provided to the Planning Commission before the meeting.

Zoom: Raise your hand in the participant panel or indicate you want to speak using the chat feature
(*9 from cell phone)

PARCEL #	NAME	NAME 2	ADDRESS	CITY	ST	ZIP
11-171-0002	AUGER, TONY W & WF	TAMI M AUGER	648 N JACKSON AVE	OGDEN	UT	84404
11-171-0013	HATTABAUGH, WHITNEY		1015 E 625 N	OGDEN	UT	84404
11-044-0036	BROWN, TROY LEATH		691 N JACKSON AVE	OGDEN	UT	84404
11-153-0013	NERDAHL, ROZLINDA M & HUS	JOEL N NERDAHL	558 N JACKSON AVE	OGDEN	UT	84404
11-171-0001	FIELD, NICOLE & HUS	RALPH DOUGLAS ROE JR	660 N JACKSON AVE	OGDEN	UT	84404
11-171-0012	PETERSON, JACOB B		1027 E 625 N	OGDEN	UT	84404
11-171-0005	GARCIA, JULIAN P & WF	NATALIE J GARCIA	643 N ECCLES AVE	OGDEN	UT	84404
11-171-0004	NYE, MAKAYLEE RAE ETAL		637 N ECCLES AVE	OGDEN	UT	84404
11-267-0010	STAM, BRAXTON		726 N 950 E	OGDEN	UT	84404
11-153-0014	AYALA, JARED & WF	TIFFANY AYALA	574 N JACKSON AVE	OGDEN	UT	84404
11-153-0006	WILSON PAUL DOUGLAS		559 N ECCLES AVE	OGDEN	UT	84404
11-171-0003	WHITELEY, DIANA L TRUSTEE		1016 E 625 N	OGDEN	UT	84404
11-153-0012	UDY, MARK J & WF	BROOKE UDY	546 N JACKSON AVE	OGDEN	UT	84404
11-153-0005	MOFFITT, JOSHUA J & WF	JESSICA ANN MOFFITT	571 N ECCLES AVE	OGDEN	UT	84404
11-267-0009	KOKKO, KENNETH & WF	LESLIE KOKKO	710 N 950 E	OGDEN	UT	84404
11-044-0064	LARRY B & NOLA RUTH RENTMEISTER	TRUST	716 N JACKSON AVE	OGDEN	UT	84404-6619
11-071-0023	WEBER COUNTY CORP	WEBER COUNTY	2380 WASHINGTON BLVD #350	OGDEN	UT	84401-1456
11-044-0065	BOARD OF EDUCATION OF OGDEN	CITY	1950 MONROE BLVD	OGDEN	UT	84401-0619

**OGDEN CITY PLANNING COMMISSION**

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PARCEL #	NAME	ADDRESS	CITY	ST	ZIP
11-171-0013	OCCUPANT	1015 E 625 N	OGDEN	UT	84404
11-171-0003	OCCUPANT	1016 E 625 N	OGDEN	UT	84404
11-171-0012	OCCUPANT	1027 E 625 N	OGDEN	UT	84404
11-147-0014	OCCUPANT	475 N JACKSON AVE	OGDEN	UT	84404
11-079-0021	OCCUPANT	478 N JACKSON AVE	OGDEN	UT	84404
11-354-0004	OCCUPANT	492 N QUINCY AVE	OGDEN	UT	84404
11-079-0018	OCCUPANT	495 N ECCLES AVE	OGDEN	UT	84404
11-153-0010	OCCUPANT	506 N JACKSON AVE	OGDEN	UT	84404
11-354-0003	OCCUPANT	506 N QUINCY AVE	OGDEN	UT	84404
11-354-0002	OCCUPANT	516 N QUINCY AVE	OGDEN	UT	84404
11-354-0020	OCCUPANT	521 N QUINCY AVE	OGDEN	UT	84404
11-354-0001	OCCUPANT	522 N QUINCY AVE	OGDEN	UT	84404
11-153-0011	OCCUPANT	524 N JACKSON AVE	OGDEN	UT	84404
11-153-0008	OCCUPANT	525 N ECCLES AVE	OGDEN	UT	84404
11-333-0024	OCCUPANT	532 N QUINCY AVE	OGDEN	UT	84404
11-333-0023	OCCUPANT	535 N QUINCY AVE	OGDEN	UT	84404
11-333-0025	OCCUPANT	542 N QUINCY AVE	OGDEN	UT	84404
11-153-0012	OCCUPANT	546 N JACKSON AVE	OGDEN	UT	84404
11-333-0026	OCCUPANT	552 N QUINCY AVE	OGDEN	UT	84404
11-153-0013	OCCUPANT	558 N JACKSON AVE	OGDEN	UT	84404
11-153-0006	OCCUPANT	559 N ECCLES AVE	OGDEN	UT	84404
11-333-0027	OCCUPANT	564 N QUINCY AVE	OGDEN	UT	84404
11-333-0002	OCCUPANT	565 N QUINCY AVE	OGDEN	UT	84404
11-153-0005	OCCUPANT	571 N ECCLES AVE	OGDEN	UT	84404
11-153-0014	OCCUPANT	574 N JACKSON AVE	OGDEN	UT	84404
11-333-0001	OCCUPANT	579 N QUINCY AVE	OGDEN	UT	84404
11-071-0039	OCCUPANT	605 N JACKSON AVE	OGDEN	UT	84404
11-171-0004	OCCUPANT	637 N ECCLES AVE	OGDEN	UT	84404
11-233-0008	OCCUPANT	640 N QUINCY AVE	OGDEN	UT	84404
11-171-0005	OCCUPANT	643 N ECCLES AVE	OGDEN	UT	84404
11-171-0006	OCCUPANT	647 N ECCLES AVE	OGDEN	UT	84404
11-171-0002	OCCUPANT	648 N JACKSON AVE	OGDEN	UT	84404
11-233-0007	OCCUPANT	656 N QUINCY AVE	OGDEN	UT	84404
11-171-0001	OCCUPANT	660 N JACKSON AVE	OGDEN	UT	84404
11-071-0039	OCCUPANT	669 N JACKSON AVE	OGDEN	UT	84404
11-223-0027	OCCUPANT	682 N QUINCY AVE	OGDEN	UT	84404
11-044-0065	OCCUPANT	685 N JACKSON AVE	OGDEN	UT	84404
11-223-0026	OCCUPANT	690 N QUINCY AVE	OGDEN	UT	84404
11-044-0036	OCCUPANT	691 N JACKSON AVE	OGDEN	UT	84404
11-223-0025	OCCUPANT	708 N QUINCY AVE	OGDEN	UT	84404
11-267-0009	OCCUPANT	710 N 950 E	OGDEN	UT	84404
11-267-0002	OCCUPANT	711 N 950 E	OGDEN	UT	84404
11-044-0064	OCCUPANT	714 N JACKSON AVE	OGDEN	UT	84404
11-044-0021	OCCUPANT	721 N JACKSON AVE	OGDEN	UT	84404
11-267-0010	OCCUPANT	726 N 950 E	OGDEN	UT	84404

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11-267-0003	OCCUPANT	727 N 950 E	OGDEN	UT	84404
11-044-0022	OCCUPANT	729 N JACKSON AVE	OGDEN	UT	84404
11-267-0011	OCCUPANT	734 N 950 E	OGDEN	UT	84404
11-267-0004	OCCUPANT	735 N 950 E	OGDEN	UT	84404
11-267-0012	OCCUPANT	742 N 950 E	OGDEN	UT	84404
11-267-0005	OCCUPANT	743 N 950 E	OGDEN	UT	84404
11-044-0020	OCCUPANT	745 N JACKSON AVE	OGDEN	UT	84404
11-267-0013	OCCUPANT	750 N 950 E	OGDEN	UT	84404
11-267-0006	OCCUPANT	753 N 950 E	OGDEN	UT	84404
11-267-0014	OCCUPANT	758 N 950 E	OGDEN	UT	84404
11-267-0007	OCCUPANT	759 N 950 E	OGDEN	UT	84404
11-267-0015	OCCUPANT	766 N 950 E	OGDEN	UT	84404
11-267-0008	OCCUPANT	767 N 950 E	OGDEN	UT	84404
11-249-0018	OCCUPANT	773 N 950 E	OGDEN	UT	84404
11-249-0019	OCCUPANT	779 N 950 E	OGDEN	UT	84404
11-249-0020	OCCUPANT	785 N 950 E	OGDEN	UT	84404
11-249-0015	OCCUPANT	794 N 950 E	OGDEN	UT	84404
11-244-0011	OCCUPANT	798 N 975 E	OGDEN	UT	84404
11-199-0010	OCCUPANT	803 N JACKSON AVE	OGDEN	UT	84404
11-244-0012	OCCUPANT	806 N 975 E	OGDEN	UT	84404
11-244-0013	OCCUPANT	818 N 975 E	OGDEN	UT	84404
11-244-0007	OCCUPANT	825 N 975 E	OGDEN	UT	84404
11-233-0006	OCCUPANT	885 E 670 N	OGDEN	UT	84404
11-333-0022	OCCUPANT	895 VILLAGE RD	OGDEN	UT	84404
11-333-0028	OCCUPANT	917 E 670 N	OGDEN	UT	84404
11-267-0001	OCCUPANT	922 E 670 N	OGDEN	UT	84404
11-354-0018	OCCUPANT	934 E 490 N	OGDEN	UT	84404
11-354-0016	OCCUPANT	939 E 490 N	OGDEN	UT	84404
11-354-0019	OCCUPANT	940 E 490 N	OGDEN	UT	84404
11-147-0017	OCCUPANT	944 E 500 N	OGDEN	UT	84404
11-147-0008	OCCUPANT	947 E 500 N	OGDEN	UT	84404
11-147-0006	OCCUPANT	952 E 500 N	OGDEN	UT	84404
11-249-0016	OCCUPANT	952 E 800 N	OGDEN	UT	84404
11-147-0009	OCCUPANT	953 E 500 N	OGDEN	UT	84404
11-249-0017	OCCUPANT	953 E 800 N	OGDEN	UT	84404
11-147-0005	OCCUPANT	960 E 500 N	OGDEN	UT	84404
11-147-0010	OCCUPANT	965 E 500 N	OGDEN	UT	84404
11-147-0004	OCCUPANT	968 E 500 N	OGDEN	UT	84404
11-244-0008	OCCUPANT	970 E 800 N	OGDEN	UT	84404
11-147-0011	OCCUPANT	971 E 500 N	OGDEN	UT	84404
11-244-0009	OCCUPANT	973 E 800 N	OGDEN	UT	84404
11-147-0003	OCCUPANT	976 E 500 N	OGDEN	UT	84404
11-244-0010	OCCUPANT	977 E 800 N	OGDEN	UT	84404
11-147-0012	OCCUPANT	979 E 500 N	OGDEN	UT	84404
11-147-0002	OCCUPANT	984 E 500 N	OGDEN	UT	84404
11-147-0013	OCCUPANT	993 E 500 N	OGDEN	UT	84404
11-147-0001	OCCUPANT	996 E 500 N	OGDEN	UT	84404