



OGDEN CITY CORPORATION

INVITATION TO BID

1183 28th St - REHAB



Prepared by Sean Mathis
Ogden City Community Development
1/16/2025

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Ogden City is accepting sealed bids from Contractors interested **in the rehab construction of a single-family residence located at 1183 28th Street, Ogden, Utah.** All work must meet current industry standards and all federal, state and local rules and regulations.

Bid information packets may be downloaded from the Ogden City Website located <https://www.ogdencity.gov/264/Purchasing>

Bidders are responsible for securing any and all addenda issued.

Licensed contractors submitting bids must be able to comply with insurance and bonding requirements and have experience with underground wet and dry utility installation and removal and replacement of Street Pavement.

In view of the fact that this project is funded in part with federal monies provided in this contract, each prospective contractor shall comply with the bid requirements set forth in Executive Order 11625 and Section 3 of the Housing and Urban Development Act of 1968. In addition to the aforementioned bid requirements, the contractor awarded the bid, and each subcontractor and lower tier contractor thereafter shall be subject to the following federal contract provisions:

Form HUD-4010, Federal Labor Standards Provisions.

-Davis Bacon Act (40 U.S.C. 276 a-a7)

-Contract Work Hours and Safety Standards Act (40 U.S.C. 327-330)

-Copeland Anti-Kick-Back Act (18 U.S.C. 847 and 40 U.S.C. 276c)

-Executive Orders 11246 (Equal Employment Opportunity) and 11625, and Section 3 of the Housing and Urban Development Act of 1968 regarding employment, training and

contracting opportunities (12 U.S.C. 1701u). 'The work to be performed under this bid specification / contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD–assisted projects covered by Section 3 shall, to the greatest extent feasible, be directed to low- and very-low income persons, particularly persons who are recipients of HUD assistance for Housing.

A pre-bid meeting will be held **Thursday, January 23, 2025, at 9:00 am. We will meet at 1183 28th St, Ogden, UT.** Please allow at least one (1) hour for the pre-bid meeting. All contractors intending to submit a bid are **ENCOURAGED** to attend to obtain relevant information concerning the project.

Sealed bids shall be submitted to the Purchasing Office, c/o the 2nd Floor Information / Constable Desk at the Municipal Building located at 2549 Washington Blvd., Ogden, UT by **Thursday, February 6, 2025, no later than 3 PM.** At which time, bids will be opened and read aloud at the 7th Floor Conference room of the same address. **LATE BIDS WILL NOT BE ACCEPTED.**

Ogden City reserves the right to accept or reject any bids that best serve its convenience and/or is found to be in the best interest of the City.

Ogden City encourages and welcomes bids from small, local, women, minority and veteran owned businesses and other disadvantaged business enterprises.

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I. SCOPE OF WORK

Contractor will be responsible for furnishing and installing the equipment, facilities, services and appurtenances thereto as included in the Contract Documents. The work generally includes, but is not limited to, the following: the rehab construction of a single-family residence located at **1183 28th St**, Ogden, Utah.

The contractor will be responsible for:

- Review of construction or specification documents prior to submitting a bid.
- Attend the pre-bid meeting to obtain relevant information (ENCOURAGED).
- Competitively bidding required work, negotiating and contracting with subcontractors to accomplish the work, as applicable.
- Completing the Project on time and within budget per the plans and specifications.
- BABA Act: This agreement is for services related to a project that is subject to the Build America, Buy America Act (BABAA) requirements under Title IX of the Infrastructure Investment and Jobs Act ("IIJA"), Pub. L. 117-58. Absent an approved waiver, all iron, steel, manufactured products, and construction materials used in these projects must be produced in the United States, as further outlined by the Office of Management and Budget's Memorandum M-22-11. Initial Implementation Guidance on Application of Buy America Preference in Federal Financial Assistance Programs for Infrastructure, April 18, 2022.

THE ATTACHED DOCUMENTS ARE COPYRIGHT PROTECTED AND ARE THE PROPERTY OF OGDEN CITY AND MAY NOT BE REPRODUCED FOR ANY OTHER PROJECT UNLESS WRITTEN AUTHORIZATION IS OBTAINED.

PROJECT MANAGER: Sean Mathis

Ogden City Community Development

Desk: 801-629-8935

II. BID CONTENT

Ogden City will accept bids from contractors that are capable of providing all of the work described in the drawings and specifications. Applicants shall include qualifications for work set forth in the Scope of Work for which it proposes to provide services. Each bid must include, at a minimum, the following information:

1. Exhibit B – BID FORM
2. Bid Security

III. BID REVIEW AND ASSESSMENT

Bids will be reviewed based on the requirements indicated in Section II. Ogden City Corporation shall have the right to verify the accuracy of all information submitted and to make such investigation, as it deems necessary to determine the ability of a prospective Contractor to perform the obligations in the response. Ogden City reserves the right to reject any response where the available evidence or information does not satisfy Ogden City that the prospective Contractor is qualified to carry out properly the obligations of the response, is a person or firm of good reputation or character for strict, complete, and faithful performance of business obligations, or if the prospective Contractor refuses to cooperate with and assist Ogden City in the making of such investigation.

IV. SECTION 3

All Section 3 covered contracts shall include the following clause (referred to as the Section 3 Clause):

A. The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3). The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

B. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with part 135 regulations.

C. The contractor agrees to send to each labor organization or representative or workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this Section 3 clause and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

D. The contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in

this Section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

E. The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

(Added section) G. With respect to work performed in connection with Section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of Section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

V. INSURANCE REQUIREMENTS

The awarded Contractor shall procure and maintain for the duration of the contract the required insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of this agreement. The Contractor shall pay the cost of such insurance.

- a. The amount of insurance shall not be less than:
 - i) **Commercial General Liability:** Minimum of \$3,000,000 in general aggregate with \$1,000,000 for each occurrence. Policy to include coverage for operations, contractual liability, personal injury liability, products/completed operations liability, broad-form property damage (if applicable) and independent contractor's liability (if applicable) written on an occurrence form.
 - ii) **Business Automobile Liability:** \$1,000,000 combined single limit per occurrence for bodily injury and property damage for owned, non-owned and hired autos.
 - iii) **Workers' Compensation and Employer's Liability:** Worker's Compensation limits as required by the Labor Code of the State of Utah and employer's liability with limits of \$1,000,000 per accident.
- b. Each insurance policy required by this Agreement shall contain the following clauses:
 - i) "This insurance shall not be suspended, voided, canceled, reduced in coverage or in limits except after thirty days prior written notice by certified mail, return receipt requested, has been given to the Ogden City Corporation".
 - ii) "It is agreed that any insurance or self-insurance maintained by Ogden City Corporation, its elected or appointed officials, employees, agents and volunteers shall be excess of Contractor's insurance and shall not contribute with insurance provided by this policy."
- c. Each insurance policy required by this Agreement, excepting policies for Workers' Compensation, shall contain the following clause in a separate endorsement:
 - i. "Ogden City Corporation, its elected and appointed officials, employees, volunteers and agents are to be named as additional insureds in respect to operations and activities of or on behalf of, the named insured as performed under Agreement with Ogden City Corporation."
- d. Insurance is to be placed with insurers acceptable to and approved by Ogden City Corporation. The contractor's insurer must be authorized to do business in

Utah at the time the license is executed and throughout the time period the license is maintained, unless otherwise agreed to in writing by Ogden City Corporation. Failure to maintain or renew coverage or to provide evidence of renewal will be treated as material breach of contract.

e. City shall be furnished with original certificates of insurance and endorsements effecting coverage required within, signed by a person authorized by that insurer to bind coverage on its behalf. **All certificates and endorsements are to be received by the city before work begins on the premises.**

f. City reserves the right to require complete, certified copies of all required insurance policies at any time.

g. Any deductibles or self-insured retentions must be declared to and approved by the City. At the option of the City, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respect to the City, their elected and appointed officials, employees, agents, and volunteers; or Contractor shall provide a financial guarantee satisfactory to the City guaranteeing payment of losses and related investigations, claim administration and defense expenses.

h. Contractor shall include all its contractors as insured under its policies or shall furnish separate certificates and endorsements for each contractor. All coverages for Contractor's contractors shall be subject to all the requirements stated herein.

i. Nothing contained herein shall be construed as limiting in any way the extent to which Contractor may be held responsible for payments of damages to persons or property resulting from the activities of Contractor or its agents, employees, invitees, or contractors upon the Premises during the License Period.

j. Under the "**Certificate Holder**" section, list the following information:

Ogden City Corporation
2549 Washington Blvd., Ste 510
Ogden, UT 84401

Contractor's Obligation to Verify Employment Status: Contractor shall register and participate in the Status Verification System and comply with Utah Code Ann. Section 63G-11-103 of the Utah Identity Document and Verification Act.

VI. BONDING REQUIREMENTS

Submission of a Bid constitutes a promise that the Bidder will enter the Contract Documents in the form presented in the Contract Documents. Bidders should carefully examine all Contract Documents, including the required Bonds and insurance to be provided by the Bidder.

A. BID SECURITY

- a) Amount of Bid Security: A Bid Security must accompany each Bid. The total amount of the Bid on which Bid security is to be based shall be the sum of all items of the Bid constituting the maximum amount of the possible award to the Bidder. The Bond amount must equal at least five (5) percent of the total amount of the Bid. The only accepted Bid Security is AIA Document A310-2010. No other form of Bid Security will be accepted.
- b) Bid Bond: The Bond shall accompany and be attached to the Bid and shall be issued by a surety company authorized to do business in the State of Utah. The Bond shall guarantee that the Bidder, if awarded the work, will promptly enter into the Construction Contract to perform the work in the manner required by the Contract Documents.
- c) Return of Bid Security: Owner will return Bid security to Contractor within seven (7) days after receipt of the Construction Contract by Ogden City Purchasing Division. Bid Bonds lowest three Bidders will be held until the Construction Contract is awarded and a signed copy received by Ogden City Purchasing Division or all bids have been rejected.
- d) Default: In the event of failure or refusal of the Bidder to enter into the Construction Contract and the delivery to the Owner a Performance Bond,

Payment Bond and any other Bonds or documents required by the Contract Documents after Notice of Intent to Award by the Owner, the Bidder forfeits the sum of the Bid Bond or cashier's check as liquidated damages to the Owner.

B. CONTRACT SECURITY – PAYMENT, PERFORMANCE, AND OTHER BONDS

- a) Prior to OWNER executing the Agreement, CONTRACTOR shall file with the OWNER a good and sufficient performance Bond and a payment Bond, each in the sum of not less than 100 percent of the Contract Price.
- b) The Bonds shall be executed by the CONTRACTOR and secured by a company duly and regularly authorized to do a general surety business in the State of Utah and named in the current list of Companies holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies as published in current Circular 570 (amended) by the Audit Staff Bureau of Accounts, U.S. Treasury Department, with an underwriting limitation equal to or greater than the Contract Price which the Bond guarantees or with a current "A-" rating or better in A.M. Best Co., Inc.'s, Best Insurance Reports, Property and Casualty Edition.
- c) Said Bonds shall guarantee the faithful performance of the Construction Contract by the CONTRACTOR and payment of labor and materials. They shall inure by their terms to the benefit of the OWNER. Neither this nor any other provision requiring a performance Bond shall be construed to create any rights in any third-party Claimant as against the OWNER for performance of the Work under the Construction Contract.
- d) If the surety on any Bond furnished by CONTRACTOR is subject to any proceeding under the Bankruptcy Code (Title 11, United States Code) or becomes insolvent or its right to do business is terminated in the State of Utah or it ceases to meet the requirements of this Article, CONTRACTOR shall, within 15 days thereafter, substitute another Bond and surety, both of which must be acceptable to OWNER.

VII. GENERAL TERMS AND CONDITIONS

- a) Qualified respondents shall be Licensed Contractors in the State of Utah, for this type of work, and who meet Ogden City's insurance and bonding requirements, and have experience with all work defined in the scope of work.
- b) For projects that are security-sensitive in nature, Ogden City reserves the right to conduct a criminal background check of each person who will be providing services in response to this Invitation to Bid. If requested, Contractor shall submit a BCI Criminal History Report dated within 30 days of response to RFP for each

employee who will be on-site, that shows "Criminal History Verified" and has Arrest History attachments. Employees who have any convictions on their BCI record may be subject to further review and approval by Ogden City. Ogden City may reject any response to this RFP that involves services from a person or entity that Ogden City determines is unfit or unqualified to fulfill the requirements of this bid.
- c) All work must meet current industry standards including all Federal, State and local rules and regulations.
- d) Ogden City reserves the right to request clarification of information submitted, and to request additional information from any proposer.
- e) Ogden City will make every effort to ensure all offerors are treated fairly and equally throughout the entire advertisement, review and selection process. The procedures established herein are designed to give all parties reasonable access to the same basic information.
- f) Cost of Developing Proposals – All costs related to the preparation of proposals and any related activities are the sole responsibility of the offeror. Ogden City assumes no liability for any costs incurred by offerors throughout the entire selection process.
- g) Proposal Ownership - Once submitted, all proposals, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror.

- h) Conflict of Interest - No member, officer, or employee of Ogden City, during his or her tenure shall have any interest, direct or indirect, in this contract or the proceeds thereof, except as permitted by Ogden City policy.
- i) Non-Collusion - Offeror guarantees the proposal is not a product of collusion with any other offeror and no effort has been made to fix the proposal price or any offeror or to fix any overhead, profit or cost estimate of any proposal price.
- j) Ogden City reserves the right to accept or reject any submittal as it best serves convenience and/or is found to be in the best interest of the City.
- k) Ogden City reserves the right to reject any irregular submission and reserves the right to waive any irregularity in submissions.
- l) Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

VIII. GOVERNING INSTRUCTIONS

This ITB will constitute the governing document for submitting Bids and will take precedent over any oral representations.

IX. PREBID MEETING

A pre-bid meeting will be held on **Thursday, January 23, 2025, at 9:00 am. We will meet at the 1183 28th St, Ogden, UT.** Please allow at least one (1) hour for the pre-bid meeting. All contractors intending to submit a bid are **ENCOURAGED** to attend to obtain relevant information concerning the project.

X. SUBMITTAL & BID OPENING

A. Submittal: February 6, 2025, No later than 3 PM; firms shall submit two (2) copies of all documents required in one sealed envelope addressed to Ogden City's Purchasing Office.

Refer to Bid Content section for the required documents. On the envelope, indicate your firm's name and the ITB title

Submit Bid To:

Ogden City Corporation
c/o 1st Floor Information Desk
ATTN: Purchasing Office
1183 28th St REHAB
2549 Washington Blvd.
Ogden, UT 84401

LATE BIDS WILL NOT BE ACCEPTED.

If the sealed bid is submitted by mail or other delivery service, it must be received prior to the submission deadline.

The sealed bid may also be hand-carried to the 2nd Floor Information / Constable Desk at the same address.

No facsimile or email transmittals will be accepted.

It is the sole responsibility of those responding to this ITB to ensure that their submittal is made to the correct location and in compliance with the stated date and time.

City offices are closed on the weekends and observed holidays.

Once submitted, all bids, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror. These are considered public records unless protected within [Utah Code 63G-2-1](#).

B. Bid Opening: Shortly after the deadline, bids will be opened and read aloud at the 7th Floor Conference Room located at the same address.

XI. CONTACT INFORMATION

For any questions related to this ITB, please contact the Ogden City Purchasing Office via email purchasing@ogdencity.gov at (801) 629-8742.

The question-and-answer period ends at **2 PM on Tuesday, February 4, 2025.**

Please check the City's Purchasing webpage for any published Q&A or Addenda document(s) that might have already addressed your questions or concerns -

<https://www.ogdencity.gov/264/Purchasing>

Thank you for your interest in doing business with Ogden City!

OGDEN CITY COMMUNITY DEVELOPMENT DIVISION
REHABILITATION SCOPE OF WORK

OWNER: Ogden City Corporation
ADDRESS: 1183 28th Street

PROJECT #: HMSD24-001
DATE: January 7, 2025

Codes: All work to be performed under this project must meet the minimum requirements of the applicable building, housing, mechanical and electrical codes, as adopted by Ogden City. Interpretations and clarifications of the codes and their applicability to this project shall be directed to the Ogden City Inspections.

HUD Housing Standards: HOME-Assisted units must meet standards in NSPIRE 24 CFR part 5. Local building codes meet or exceed requirements. Refer to local and Ogden City rehab standards.

Ogden City Rehab Standards: In addition, all work to be performed by the contractor must meet The "Ogden City General Requirements for Housing Rehabilitation Projects." Contractors questioning the intent of any item in the work write up or the General Requirements can request Ogden City Community Development Division to supply additional information in writing on such items to ensure full understanding is achieved by all parties.

Lead Hazards: If this home was built prior to 1978 it was inspected for lead hazards, or it is assumed to contain LBP. Safe work practices apply to this project. This home must pass a lead clearance test at completion. Contractor will be responsible for any costs associated with re-cleaning and re-testing to pass clearance.

BABA Act: This agreement is for services related to a project that is subject to the Build America, Buy America Act (BABAA) requirements under Title IX of the Infrastructure Investment and Jobs Act ("IIJA"), Pub. L. 177-58. Absent an approved waiver, all iron, steel, manufactured products, and construction materials used in these projects must be produced in the United States, as further outlined by the Office of Management and Budget's Memorandum M-22-11. Initial Implementation Guidance on Application of Buy America Preference in Federal Financial Assistance Programs for Infrastructure, April 18, 2022.

Contractor shall certify upon completion of project that all work and materials have complied with BABAA requirements.

SECTION 3

Section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. § 1701u) and associated regulations 24 CFR Part 75. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by certain HUD financial assistance shall, to the greatest extent feasible, and consistent with existing Federal, State, and local laws and regulations, be directed to low- and very low-income persons, particularly those who are recipients of government assistance for housing, and to business concerns which provide economic opportunities to low- and very low-income persons.

Each month the contractor will provide payroll reports to Ogden City for Section 3 reporting. The contractor will also provide employment notices to Ogden City for announcement of new hire positions to Section 3 eligible workers.

Bids Due: February 6, 2025

REHABILITATION SCOPE OF WORK

Keybox Code: 2549

	Category	Description
1.	Permits and Fees	*Contractor to obtain all required building permits and inspections from Ogden City Building Department. Use \$1000 allowance.
2.	Fencing	<ul style="list-style-type: none"> Install new 6' high chain link fencing per landscape plan. Include privacy slats. <p><i>*All new installed fencing must meet Ogden City ordinances.*</i></p>
3.	Landscaping	<ul style="list-style-type: none"> Install landscaping per landscape plan provided by Ogden City. For bidding, use \$10,000 allowance. Remove rose bushes East side of home. Remove Peach tree in back yard. Remove remaining CMU wall on West property line and dispose. <p>Note: Install sod turf grass whenever it is available for purchase. When out of season, broadcast of grass seed is allowed.</p> <p><i>*All irrigation system designs, must be approved by Ogden City staff before installation.*</i></p>
4.	Demo & Cleanup	<ul style="list-style-type: none"> Clean home including windows and cabinets. Remove any junk and debris in any crawl spaces attics or basements. Remove the sheet vinyl flooring in the back entry and kitchen areas. Remove all existing kitchen cabinets and countertops. Remove wall in bedroom 2 to make the room larger.
5.	Structural	<ul style="list-style-type: none"> Frame attic access to 22"x30". Trim out and install new lid. Tear out wall in bedroom 2 to enlarge bedroom. Install beam if ceiling joist run North to South. I do not believe a beam will be needed. If not, patch in drywall as needed. Frame in bedroom 1 doorway that enters front entry way.
6.	Concrete & Masonry	<ul style="list-style-type: none"> Remove and replace concrete driveway from back of city sidewalk to front of garage. New concrete to be minimum 4" slab over 3" of washed gravel of 1" size. Broom finish driveway. Remove and replace concrete sidewalk from driveway to back entry door of home. Broom finished 4" slab. Remove and replace concrete sidewalk from front porch to city sidewalk. Broom finish 4" slab. Remove concrete sidewalk on East side of home from front porch to rear entry and dispose. Tuckpoint chimney brick at center of the home. Include new chimney caps for both chimneys if missing.
7.	Railings	<ul style="list-style-type: none"> Install new black iron handrail at front porch steps. Mount to brick of front of home. Keep existing handrail to basement. Paint white and provide new mounts to match house doors.
8.	Roofing	<ul style="list-style-type: none"> Rain gutter on East side is damaged. Replace this side with new white seamless aluminum. Make sure all existing gutters are attached appropriately to the home. Include new downspouts as needed and replace any damaged.

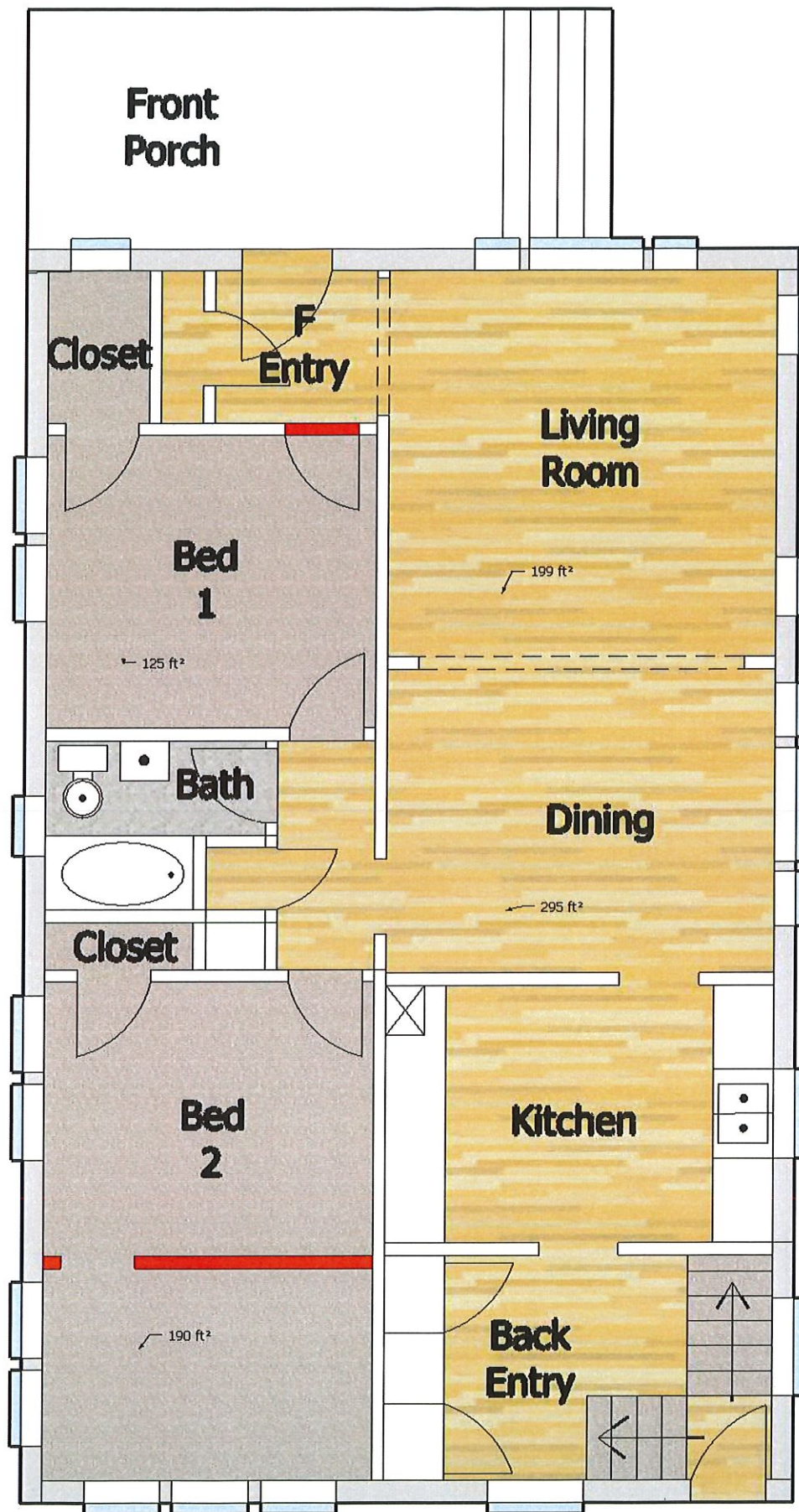
		<ul style="list-style-type: none"> Contractor to inspect and provide in writing that the roof has at least 7-10 years lifespan left. <p><i>*All dips, depressions, and structural failures must be straightened and/or repaired before new roofing system is installed. *</i></p>
9.	Exterior Finish	<ul style="list-style-type: none"> Repair all foundation cracks with epoxy crack repair prior to paint. Prep and paint foundation of house and garage foundation per color specs. Repair all stucco cracks with new stucco mix prior to paint. Prep and paint exterior stucco of home per color specs. Paint exterior of garage same color as house stucco. Paint all window trim, doors, soffit, fascia, and garage trim Ogden White color. Prep and paint concrete front porch and front steps per color specs. Install new LP soffit material to front porch soffit. Caulk and paint per color specs. <p><i>*Pre paint prep work on all exterior surfaces, requires the removal of all loose paint, weather rot wood replaced or filled and treated with wood hardener prior to paint.</i></p> <p><i>*Lead base paint safe work practices is required on all painting scopes of work.</i></p> <p><i>*All painted surfaces must receive minimum of two coats of paint applied.</i></p>
10.	Electrical	<ul style="list-style-type: none"> Install new tamper proof outlets and new switches and covers (white) throughout. Install new smoke alarms and carbon detectors per code. Remove old power service meter panel with new 100 amp or larger to accommodate existing electrical circuits and future expansion. Need to relocate breaker distribution panel from above stairwell. Move approximately three feet to the West and up to correct height. Provide and install new lights. Use \$1000 allowance. Include keyless lighting in unfinished basement areas. Install two GFCI circuits to Kitchen countertops. Install new 220v circuit for oven/range location. Provide and install a new 220v outlet and cover at dryer location in basement. Provide outlet for refer location. Provide circuit for washer and disposal. Provide microwave circuit to new location. Provide and install under cabinet lighting with switch.
11.	Plumbing	<ul style="list-style-type: none"> Install new stops at all fixtures. Install drip leg on all gas supplied water heaters. Replace toilets complete with new American Standard #. Keep existing water heater. Provide and install safety straps. Camera sewer line from house to street and advise Project Coordinator of condition. Schedule inspection at the beginning of construction. Replace and or provide freeze less hose bibs to front and rear of home. <p><i>*Test existing water line to ensure water pressure meets minimum 50 p.s.i. If not, water lateral needs to be replaced. Coordinate with Ogden City for CO.</i></p> <p><i>** All plumbing drain lines must drain properly as part of plumbing scope.</i></p>
12.	Mechanical	<ul style="list-style-type: none"> Service and green sticker existing furnace. Add AC unit to existing furnace. Include line set and charge. Size according to house square footage. Install drip leg on all gas-supplied furnaces, when missing. Clean all supply and return air ducts. <p><i>*Note: Provide a new clean furnace filter at completion of project construction.</i></p>

13.	Insulation	<ul style="list-style-type: none"> Inspect attic for insulation insure minimum of R-49. Install r-13 batts to rim joists and basement walls where accessible.
14.	Windows	<ul style="list-style-type: none"> Provide new 2" faux blinds to all windows. (White) Remove existing windows and dispose. Provide and install new Anderson series wood or composite windows. All windows need to be noise cancelling technology with either three panes or two panes and lamination application. Sandstone color exterior frames. (26) <p><i>*All vent able windows require screens be installed.</i></p>
15.	Doors	<ul style="list-style-type: none"> Remove and replace rear entry door with new jamb and casing trims. Provide new door hardware per color specs. Provide and install door stops to prevent wall damage. Keep all interior doors. Provide new hardware and old style knobs. Keep front exterior door and touch up stain as needed. Provide new keyed alike knobs and deadbolts to garage man door, front and rear entry doors.
16.	Drywall, plaster	<ul style="list-style-type: none"> Repair all damaged drywall or plaster throughout home. There is a lot of cracks. Light texture all walls and ceilings throughout home. Install new ½" drywall to framed in doorway bedroom 1. Install new ½" drywall to bedroom 2 where wall was removed.
17.	Finish Carpentry	<ul style="list-style-type: none"> Provide new shelf and closet rod in bedroom closets.
18.	Accessories	<ul style="list-style-type: none"> Provide towel bars and paper holders in bathroom per color specs. Provide curved shower rod. Keep existing bathroom vanity mirror and med cabinet. Install trim around mirror.
19.	Cabinetry & Tops	<ul style="list-style-type: none"> Install new shaker style kitchen cabinets per new layout plan and color specs. Include knobs and pulls and soft close doors and drawers. Install new quartz kitchen countertop per color specs.
20.	Paint	<ul style="list-style-type: none"> Kilz paint entire basement. Walls, ceilings, floors. Exclude wood family room floor, walls, and ceilings. Prep and paint all interior walls and ceilings per color specs. Include basement family room. <p><i>*Minimum of two coats of paint to all surfaces. Including doors and trims.</i></p>
21.	Floor Coverings	<ul style="list-style-type: none"> Sand, walnut stain, and clear coat hardwood floors in living room, front entry way, and hallway to bedrooms. Install new floor tile in Kitchen and back entry per color specs. Install new carpet in bedrooms. Include 3/8" pad or better. <p><i>*All subfloors must be repaired to plane level and true prior to installation of any finish flooring materials</i></p>
22.	Appliances	<ul style="list-style-type: none"> Remove and dispose of refrigerator. Sean will take washer, dryer, oven and microwave to shed. Provide and install new refrigerator, oven/ range, microwave, and dishwasher per color specs. <p>Use \$2200 allowance.</p>
23.	General	<ul style="list-style-type: none"> Have property lead tested at conclusion of construction. Remove dryer vent exhaust from window and install correctly through wall of home. Include louvered vent cover at exterior.
24.	Tile/ Marble	<ul style="list-style-type: none"> Install new tile tub shower surround per color specs. Include grout and

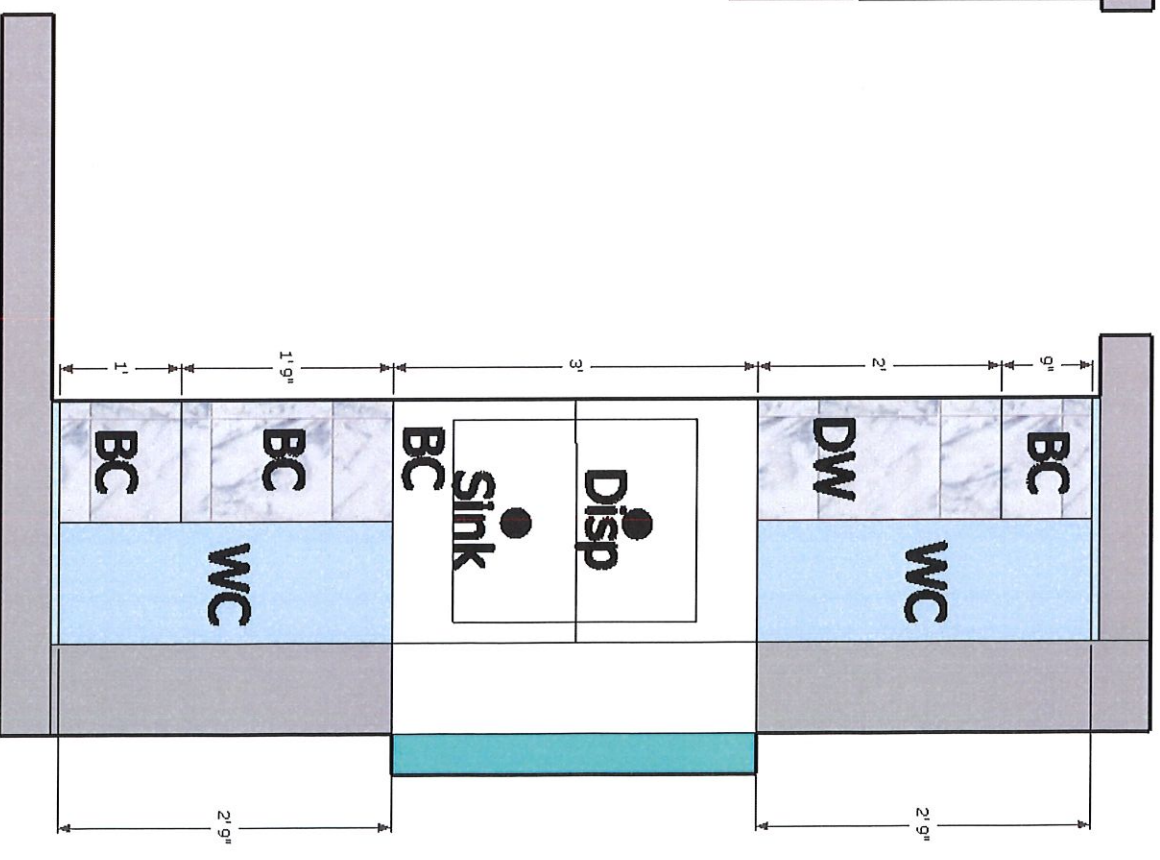
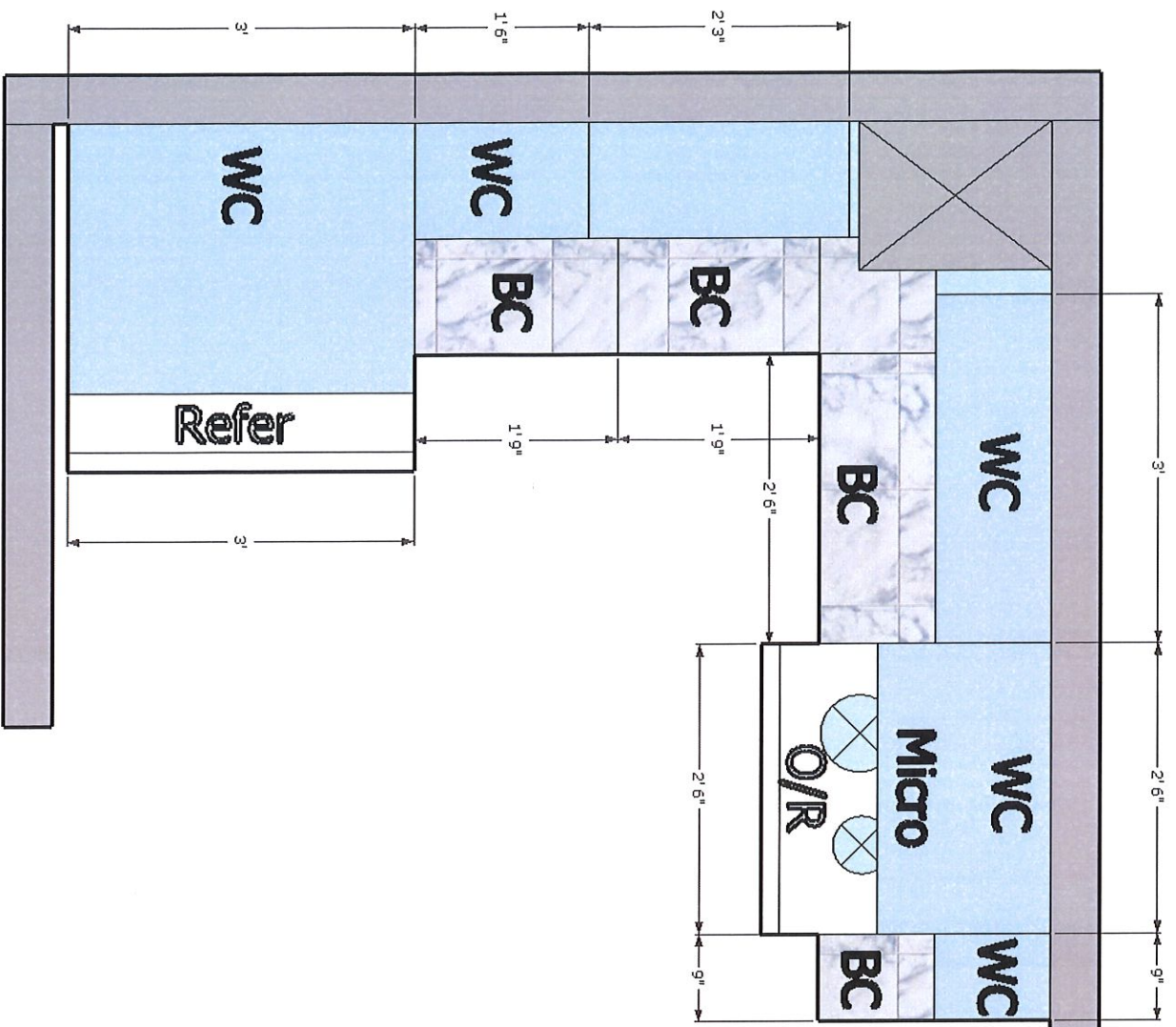
		Schluter trim at edges. <ul style="list-style-type: none"> • Install new tile Kitchen backsplash. Include grout and Schluter trim at edges. • Bathroom floor tile to remain. Do not damage when replacing tub.
25.	Garage/ Shed	<ul style="list-style-type: none"> • Remove and replace garage OH door with new Aluminum overhead door with auto opener and two remotes. Almond color. • Prep and paint exterior of garage per color specs.

Contractor to verify with Ogden City staff, all product types and color schemes before ordering and installation.

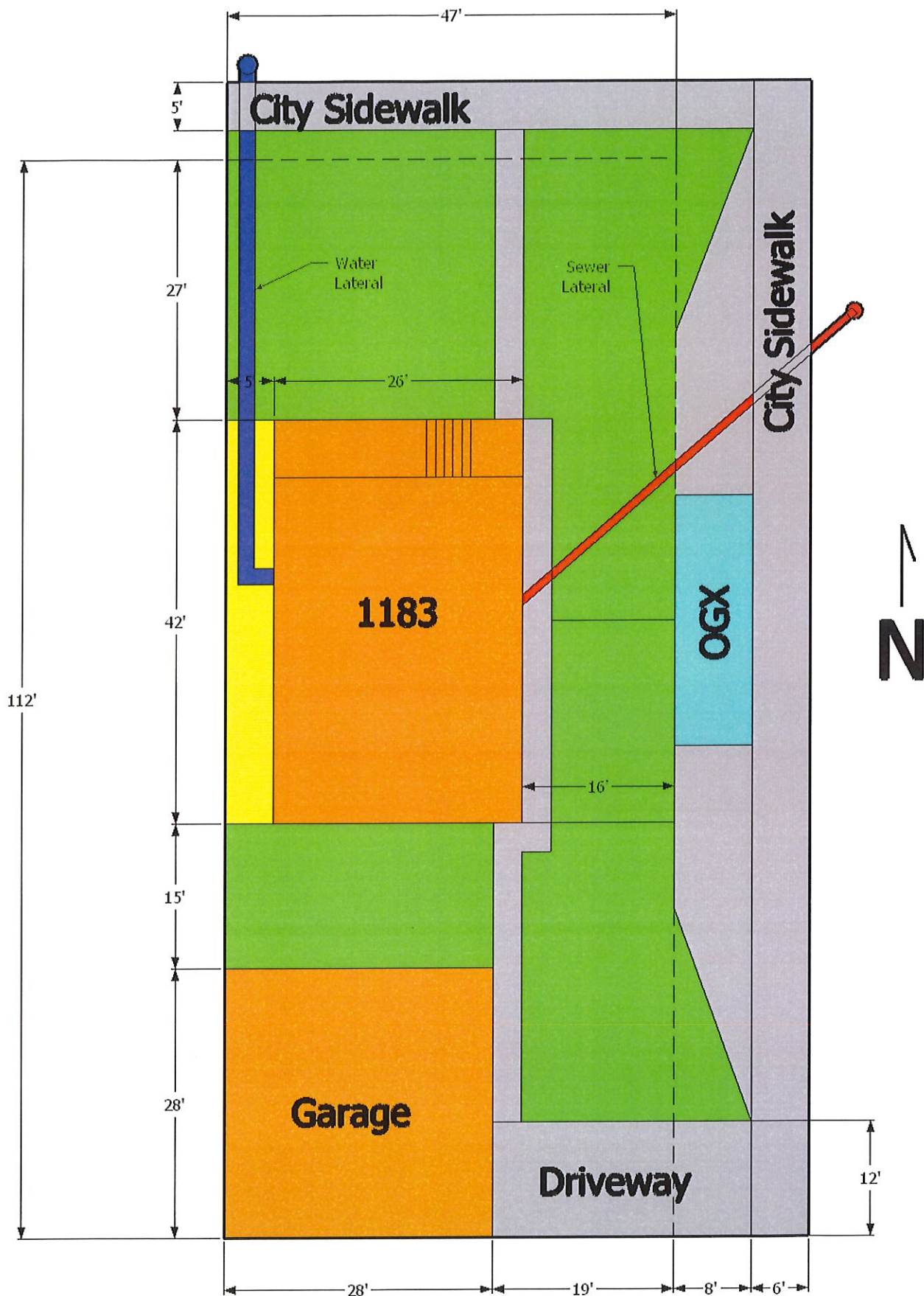




Main Floor Plan
1183 28th Street

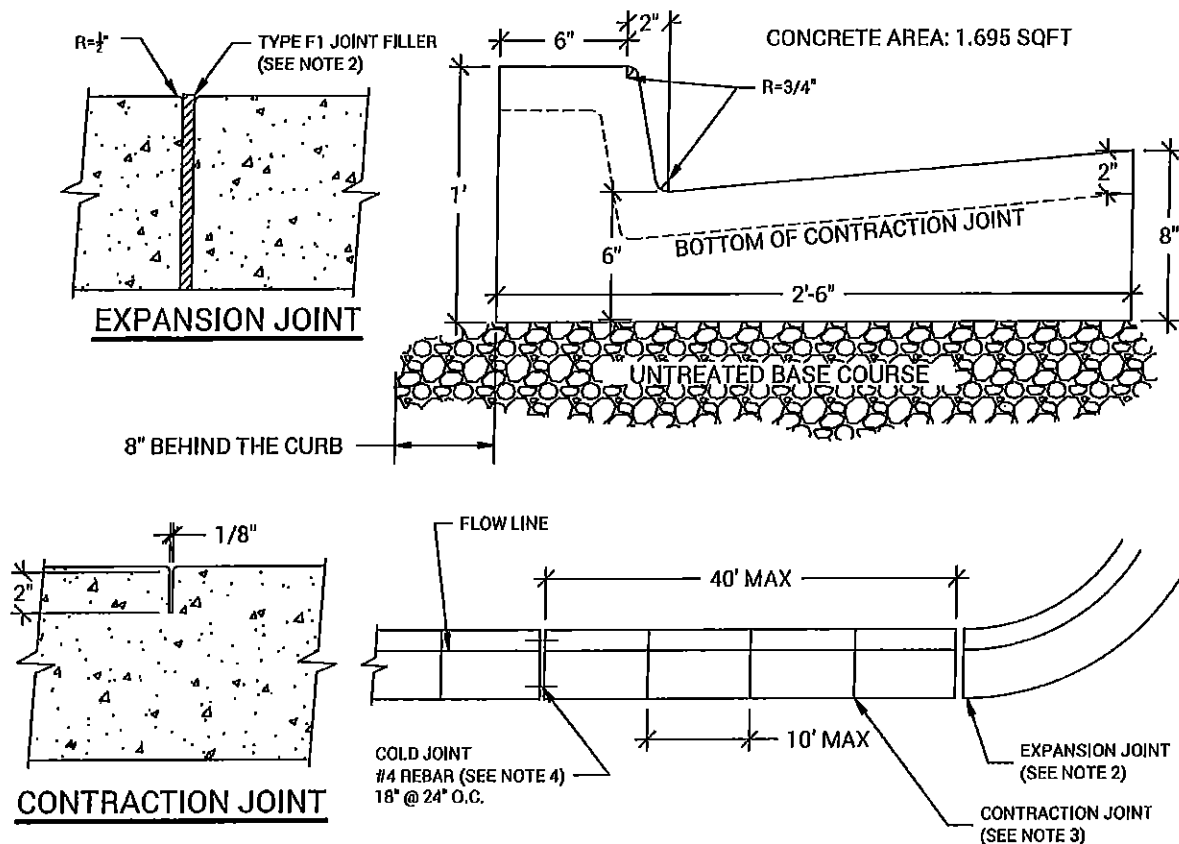


Kitchen Cabinet Layout



Site Plan- 1183 28th

Note: All public easement work must meet or exceed Ogden City Standards. Refer to attached Engineering detail sheets.



NOTES:

1. BASE COURSE SHALL BE PER APWA SECTION 32 11 23.
 - 1.1. EXTEND BASE 8" BEHIND THE CURB AND GUTTER.
 - 1.2. IF FLOW LINE IS GREATER THAN 0.5 PERCENT ($S=0.005$), PROVIDE 6" OF COMPACTED BASE COURSE. IF LESS, PROVIDE 8" OF COMPACTED BASE COURSE.
 - 1.3. COMPACT PER APWA SECTION 31 23 26 TO A DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS BEFORE COMPACTION IS 8" WHEN USING RIDING AND 6" WHEN USING HAND COMPACTION EQUIPMENT.
2. MAKE EXPANSION JOINTS VERTICAL, FULL DEPTH, 1/2" WIDE WITH TYPE F1 JOINT FILLER MATERIAL PER APWA SECTION 32 13 73.
 - 2.1. SET TOP OF FILLER FLUSH WITH THE CONCRETE.
 - 2.2. EXPANSION JOINTS ARE REQUIRED AT THE START OR END OF A STREET INTERSECTION CURB RETURN.
3. MAKE CONTRACTION JOINTS VERTICAL.
 - 3.1. 1/8" WIDE AND 2" DEEP OR 1/4 OF THE SLAB THICKNESS IF THE SLAB IS OVER 8" THICK.
4. USE REINFORCEMENT PER ASTM A 615, GRADE 60, GALVANIZED OR EPOXY COATED DEFORMED STEEL. SEE APWA SECTION 03 20 00 REQUIREMENTS.
5. BAG MIX: MARCH - NOVEMBER 6 1/2, DECEMBER - FEBRUARY 7 1/2.

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

Ogden
UTAH
Still Unmatched

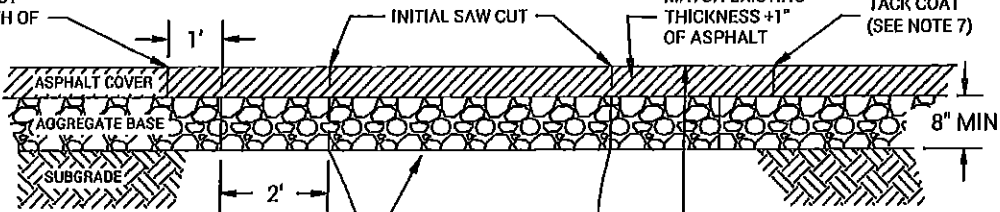
TYPE A CURB & GUTTER

RD-4

JUSTIN ANDERSON, CITY ENGINEER

SHEET 1 OF 1 | 2020

SECOND CUT
FULL DEPTH OF
ASPHALT

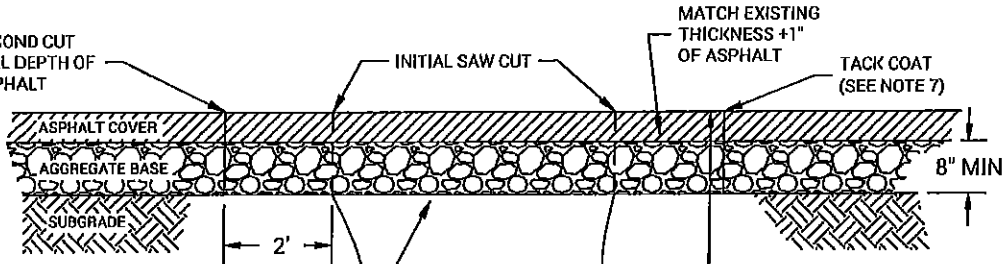


COMPACT BACKFILL TO THIS
LEVEL BEFORE MAKING THE
SECOND PAVEMENT CUT AND
SECOND SURFACE REMOVAL

OVER 4'

DEEP EXCAVATION

SECOND CUT
FULL DEPTH OF
ASPHALT



COMPACT BACKFILL TO THIS
LEVEL BEFORE MAKING THE
SECOND PAVEMENT CUT AND
SECOND SURFACE REMOVAL

LESS THAN 4'

SHALLOW EXCAVATION

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

Ogden
UTAH
Still Unmatched

ASPHALT PATCH

RD-3

JUSTIN ANDERSON, CITY ENGINEER

SHEET 1 OF 2 2020

NOTES:

1. REMOVE ADDITIONAL PAVEMENT TO THE MENTIONED FEATURE IF IT IS WITHIN TWO FEET OF:
 - 1.1. A NEW SAWCUT
 - 1.2. A PAINTED LINE STRIPE
 - 1.3. A LIP OF GUTTER
 - 1.4. A CURB
 - 1.5. AN EXISTING PAVEMENT PATCH
2. ALL EXCAVATIONS WITHIN THE CITY RIGHT-OF-WAY REQUIRE AN EXCAVATION PERMIT FROM THE OGDEN CITY ENGINEERING DEPARTMENT.
 - 2.1. ALL WORK IN THE RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED CONTRACTOR FOR THE STATE OF UTAH WHO IS BONDED AND INSURED THROUGH OGDEN CITY.
3. NOTIFY UNDERGROUND SERVICE ALERT (BLUE STAKES) TWO (2) WORKING DAYS PRIOR TO THE START OF EXCAVATION AT 1 (800) 662-4111.
4. NOTIFY ENGINEERING DEPARTMENT ONE (1) WORKING DAY (24 HOURS) PRIOR TO START OF CONSTRUCTION TO ARRANGE INSPECTIONS BY CITY PUBLIC WORKS INSPECTORS.
5. ALL EXCAVATIONS SHALL BE MADE, PROTECTED, AND SUPPORTED AS REQUIRED FOR SAFETY BY OSHA REGULATIONS.
6. BASE COURSE: PROVIDE MATERIAL SPECIFIED IN APWA SECTION 32 11 23.
 - 6.1. PLACE MATERIAL PER APWA SECTION 32 05 10.
 - 6.2. COMPACT THE MATERIAL PER APWA SECTION 31 23 26. THE MINIMUM APPROVED COMPACTION SHALL BE 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS BEFORE COMPACTION IS 8" WHEN USING RIDING EQUIPMENT AND 6" WHEN USING HAND HELD COMPACTION EQUIPMENT.
7. TACK COAT PER APWA SECTION 32 12 14. PROVIDE FULL TACK COAT COVERAGE ON ALL VERTICAL SURFACES.
 - 7.1. JOINT REPAIR: IF A CRACK OCCURS AT THE PATCH CONNECTION TO THE EXISTING PAVEMENT OR ANY STREET FIXTURE, SEAL THE CRACK PER APWA SECTION 32 01 17.
8. USE PLANT-MIX ASPHALT PAVING AS PER APWA 32 12 16.13 AND THE CURRENT EDITION OF THE OGDEN CITY STANDARDS.
 - 8.1. MATCH EXISTING THICKNESS PLUS ONE (1) INCH, MINIMUM OF FOUR (4) INCHES, BUT NOT TO EXCEED SEVEN (7) INCHES (OR AS SPECIFIED BY THE CITY ENGINEER).
9. REPAIR THE ASPHALT PAVEMENT IF ANY OF THE FOLLOWING CONDITIONS WITHIN THE PATCH OCCUR:
 - 9.1. PAVEMENT SURFACE DISTORTION EXCEEDS 1/4" DEVIATION IN 10'.
 - 9.1.1. REPAIR OPTION: PLANE OFF SURFACE DISTORTIONS. COAT PLANED SURFACES WITH A CATIONIC OR ANIONIC EMULSION THAT COMPLIES WITH APWA SECTION 32 12 93 AND PROVIDE SAND BLOTTER.
 - 9.2. CRACKS AT LEAST 1' IN LENGTH AND 1/4" WIDE OCCURRING MORE OFTEN THAN ONE (1) IN 10 SQUARE FEET.
 - 9.2.1. REPAIR OPTION: CRACK SEAL
 - 9.3. ASPHALT RAVELING IS GREATER THAN ONE (1) SQUARE FOOT PER 100 SQUARE FEET.
 - 9.3.1. REPAIR OPTION: MILL AND INLAY
10. ALL PAVING, RESURFACING OR REPLACEMENT OF STREET FACILITIES:
 - 10.1. ON MAJOR OR COLLECTOR STREETS SHALL BE DONE WITHIN THREE (3) CALENDAR DAYS.
 - 10.2. ON ALL OTHER STREETS SHALL BE DONE IN WITHIN SEVEN (7) CALENDAR DAYS FROM THE TIME THE EXCAVATION COMMENCES.

OGDEN CITY ENGINEERING - STANDARD DRAWINGS



ASPHALT PATCH

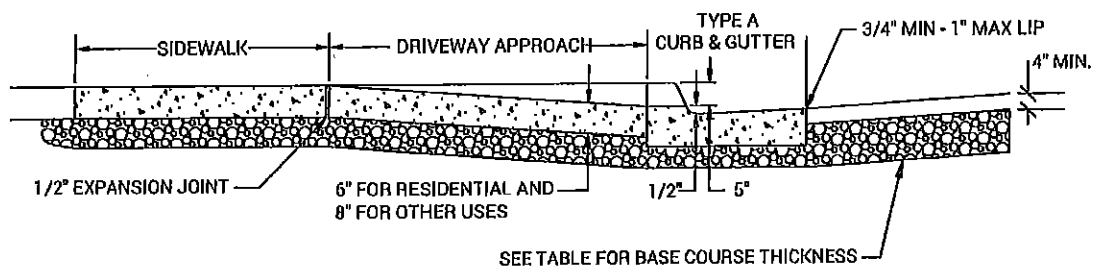
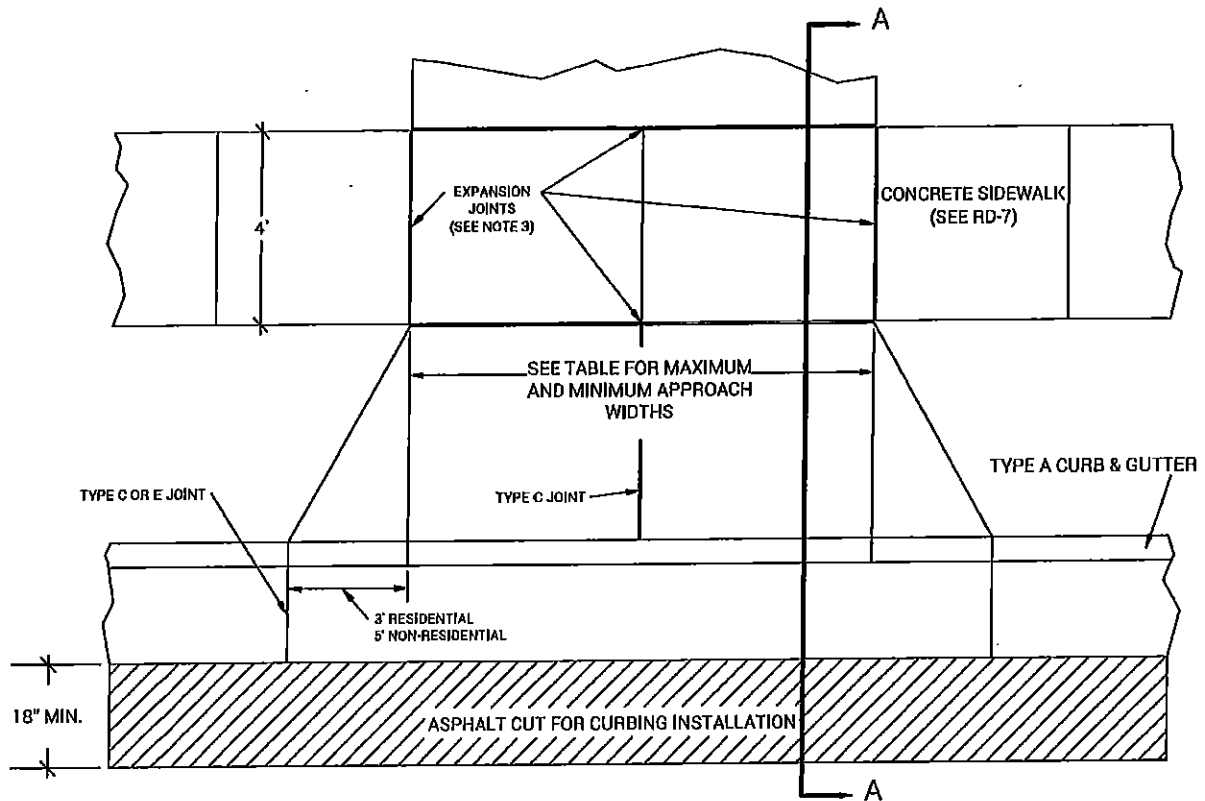
RD-3

JUSTIN ANDERSON, CITY ENGINEER

SHEET 2 OF 2 2020

K. Asphalt Road Patch

1. A traffic control plan shall be submitted to and approved by the Ogden City Traffic Engineer prior to any work in the Right-of-Way.
2. Patching and potholes requires a ½" 50 Gyratation, PG 58-28. Maximum recycled asphalt content cannot exceed 15%.
3. Recently chip sealed roadway shall be under a three year and recently constructed roads shall be under a five year moratorium. Any pavement removal during the moratorium must have the approval of the City Engineer and require:
 - a. A 50 foot (50') road patch on either side of the trench. This trench shall span across the entire width of the roadway.
 - b. If the road has a chip seal coat:
 - 1) The chip seal coat shall be reapplied by the developer or contractor.
4. If multiple road cuts are required for a site plan or a subdivision then:
 - 1) The patch shall encompass all trenches and shall extend across the entire roadway.
5. Additional pavement removal shall be required- if the edge of patch is within two feet (2') of:
 - a. Painted stripe
 - b. Lip of gutter
 - c. A curb
 - d. An existing pavement patch
 - e. Another saw cut
 - f. Poor conditioned asphalt near the new patch
6. Asphalt pavement shall be placed when the temperature is greater than 50 degrees Fahrenheit and rising by 10:00 a.m.
 - a. Cease paving if air temperature falls below 50 degrees Fahrenheit.
7. The new patch shall have the following associated thickness:
 - a. 8" UTBC required for all patch and repair work.
 - b. Match existing asphalt thickness plus one inch (1").
 - 1) Minimum asphalt patch thickness shall be four inches (4").
 - 2) Maximum asphalt patch thickness shall be eight inches (8").
8. If concrete is encountered below asphalt, follow APWA standard plan number 255 for Composite Restoration.
9. Compact the asphalt to a relative density of 94 percent (94%) per ASTM D 2041 with no density test results less than 92 percent (92%) or higher than 96 percent (96%).
 - a. Complete compaction before asphalt temperature drops below 220 degrees Fahrenheit.
 - b. Refer to APWA section 32 12 16.13 *Plant-Mix Asphalt Paving* for lift thickness tolerance.
10. Tack coat coverage shall be applied on all surfaces.
11. All cuts for patching, over cuts, shall have crack seal applied.
 - a. Crack seal may also be required around the trench area to preserve the roadway.



SIDEWALK, APPROACH, CURB AND GUTTER
SECTION A-A

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

Ogden
UTAH
Still Untamed

DRIVEWAY APPROACH

JUSTIN ANDERSON, CITY ENGINEER

RD-7

SHEET 1 OF 2 2020

NOTES:

1. BASE COURSE: PROVIDE MATERIAL AS PER APWA 32 11 23.
 - 1.1. PLACE MATERIAL PER APWA SECTION 32 05 10.
 - 1.2. COMPACT PER APWA SECTION 31 23 26 TO A DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS BEFORE COMPACTION IS 8" WHEN USING RIDING AND 6" WHEN USING HAND HELD COMPACTION EQUIPMENT.
2. CONCRETE SHALL BE CLASS 4000 AS PER APWA 03 30 04.
 - 2.1. PROVIDE 1/2" RADIUS ON CONCRETE EDGES EXPOSED TO VIEW.
3. EXPANSION JOINT SHALL BE VERTICAL, FULL DEPTH 1/2" WIDE. USE TYPE F1 JOINT FILLER AS PER APWA 32 13 73. SET TOP OF FILLER FLUSH WITH CONCRETE SURFACE.
4. CONTRACTION JOINTS SHALL BE VERTICAL.
 - 4.1. 1/8" WIDE AND 1" DEEP (OR 1/4 SLAB THICKNESS IF SLAB IS OVER 4").
 - 4.1. MAXIMUM LENGTH TO WIDTH RATIO FOR NON-SQUARE PANELS IS 1.5 TO 1.
 - 4.2. MAXIMUM PANEL LENGTH (IN FEET) IS 2.5 TIMES THE SLAB THICKNESS (IN INCHES) TO A MAXIMUM OF 15'
5. REINFORCEMENT SHALL BE PER ASTM A 615, GRADE 60 GALVANIZED OR EPOXY COATED DEFORMED STEEL. SEE APWA SECTION 03 20 00 REQUIREMENTS.
6. BAG MIX: MARCH - NOVEMBER 6 1/2, DECEMBER - FEBRUARY 7 1/2.

	LOTS WITH 1-2 UNITS	LOTS WITH 3-4 UNITS	LOTS WITH OVER 5 UNITS
MINIMUM WIDTH	10'	16'	24'
MAXIMUM WIDTH	32'	32'	35'
	* OR 50% OF LOT FRONTAGE (WHICHEVER IS LESS)		
MINIMUM CONCRETE THICKNESS	6"	6"	6"
MINIMUM BASE	6"	6"	6"

	COMMERCIAL/MANUFACTURING (TRACTOR/TRAILER USE ONLY)	COMMERCIAL/MANUFACTURING (GENERAL USE)
MINIMUM WIDTH	35'	24'
MAXIMUM WIDTH	50'	35'
	*SEE SECTION 15-12-II OF THE OGDEN CITY CODE FOR EXCEPTIONS	
MINIMUM CONCRETE THICKNESS	8"	8"
MINIMUM BASE	8"	8"

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

	DRIVEWAY APPROACH	RD-7
	JUSTIN ANDERSON, CITY ENGINEER	SHEET 2 OF 2 2020

2-3 Sidewalks, Curb and Gutter, ADA Ramps, Approaches

1. Any section of curb, gutter, sidewalk, ADA ramp, waterway, and/or approach improperly installed or damaged during construction shall be removed and replaced at the Contractor's expense.
 - a. The City will decide the extent of removal, replacement, and/or repair.
 - b. Concrete removal shall be removed from joint to joint.
2. A concrete curing compound shall be applied to all new and finished concrete.
 - a. Curing compound must meet specifications ASTM C-309, Type 1 or 2, Class A

A. Curb and Gutter Design

1. Minimum slope allowed is 0.5% (this applies to all gutter grades).
2. Curbs and gutters shall be installed on existing and proposed streets.
 - a. Allowable curb section within the right of way shall be 30-inch (30") Type 'A' per APWA Standards.
 - 1) Other types of curb and gutter must be approved by the City Engineer.
 - b. Expansion Joints shall be:
 - 1) Spaced a maximum of 40 feet (40') for all curb and gutter regardless of installation type.
 - 2) Placed at any location where the curb and gutter changes direction.
 - 3) When work stops and begins at a different time.
 - c. Base course thickness under curb and gutter shall be eight inches (8").
 - d. Insert dowelled cold joint when connecting new curb and gutter to existing curb and gutter (See 2017 APWA Standard Plan 206)

B. Sidewalks

1. All new projects require the installation of sidewalks along the roadway.
 - a. New sidewalk shall be located within the public Right-of-Way.
 - 1) Unless the City Engineer accepts the sidewalk with a Public Access Easement.
2. Sidewalks within the Right-of-Way shall be a minimum of four feet (4') wide.
 - a. Sidewalks directly adjacent of the back of curb must be a minimum of six feet (6') wide and will only be allowed with approval from the City Engineer.
 - b. Sidewalks shall slope at two percent (2%) towards the street.
3. Sidewalks shall be installed with a landscaped park strip and be located a minimum of:
 - a. Arterial streets: six feet (6') behind the back of curb
 - b. Collector and Minor streets: seven feet (7') behind the back of curb
 - c. Cul-De-Sac: five feet (5') behind the back of curb
 - 1) All trees planted in the city Right-of-Way shall be approved by the City Urban Forester
 - 2) No small or medium tree shall be planted in a park strip that is less than five feet (5') wide, or no large tree shall be planted in a park strip that is less than eight feet (8') wide, unless approved by the City Urban Forester. Tree sizes are designated by the City Urban Forester
4. Sidewalk concrete thickness shall be:
 - a. Eight inches (8") when located directly behind a commercial, industrial, non-single family dwelling approach.
 - b. Six inches (6") when located directly behind a single-family residential approach or along all

- commercial and industrial areas.
 - c. Four inches (4") for all other residential areas.
5. When a drive approach intersects the sidewalk, the drive approach shall match the level of the sidewalk. See APWA standard plans for driveway approached for additional slope information for all approach connections.
 6. When installing Stamped Concrete, the stamp pattern shall closely resemble the pattern of adjacent brick pavers.
 - a. The concrete dye color shall be the color brown, unless stated otherwise by the Engineer. All concrete shall receive medium broom finish. The sealant finish shall be evenly applied and shall be the color charcoal, unless stated otherwise by the Engineer.

C. ADA Ramps

1. Handicap ramps shall be constructed at legal pedestrian crossings or a marked crosswalk.
 - a. Ramp running slope shall not exceed 8.33%. Side flare slopes shall not exceed 10%.
2. The bottom of diagonal or corner type curb ramps shall have a clear space of four feet (4') minimum outside active traffic lanes of the roadway
3. Tactile warning pads shall be Gray unless otherwise approved by the City Engineer.
 - a. Pad shall extend the full width of the curb ramp (exclusive of flared sides) and extend a minimum of two feet (2') deep in the direction of pedestrian travel.
 - b. Pad shall be anchored.

D. Waterways

1. Waterways in a public Right-of-Way shall be a minimum of six feet (6') wide.
2. Waterways cannot be installed within 500 feet (500') of a storm drain system. Connections to the storm drain system will be required. Waterways within this distance must be approved by the City Engineer.

E. Driveway Approaches

1. Driveways shall be set back from the nearest intersection face of curb (see Ogden Municipal Code 15-12-11):
 - a. A minimum of 80 feet (80') from the Intersection of two streets when both are not local streets.
 - b. A minimum of 50 feet (50') from the intersection of any local to local street connection.
 - c. Any approach set within 300 feet of another roadway must have approval from the Traffic Engineer. A traffic study may be required.
 - d. Approaches near a major street will have additional requirements based on site related factors.
2. Overhead approaches shall not be allowed In Ogden City unless approved by the City Engineer.

3. Residential Approaches

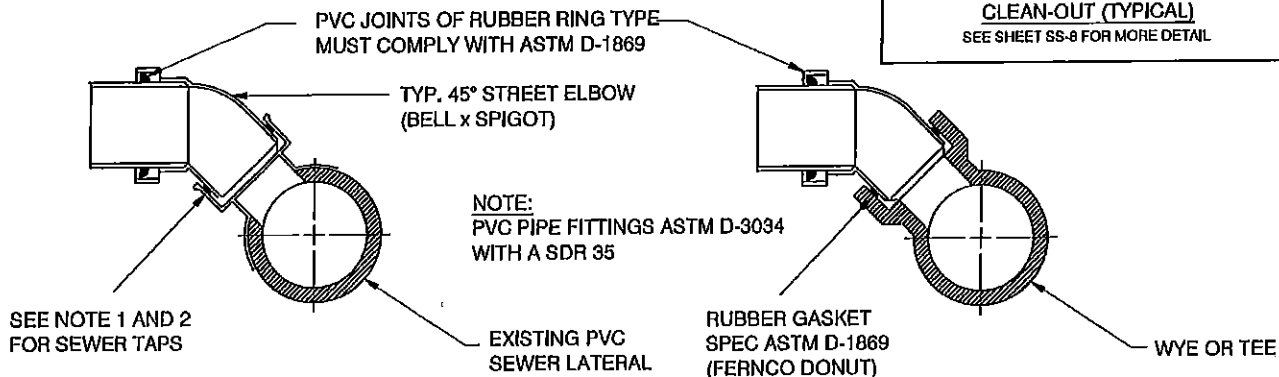
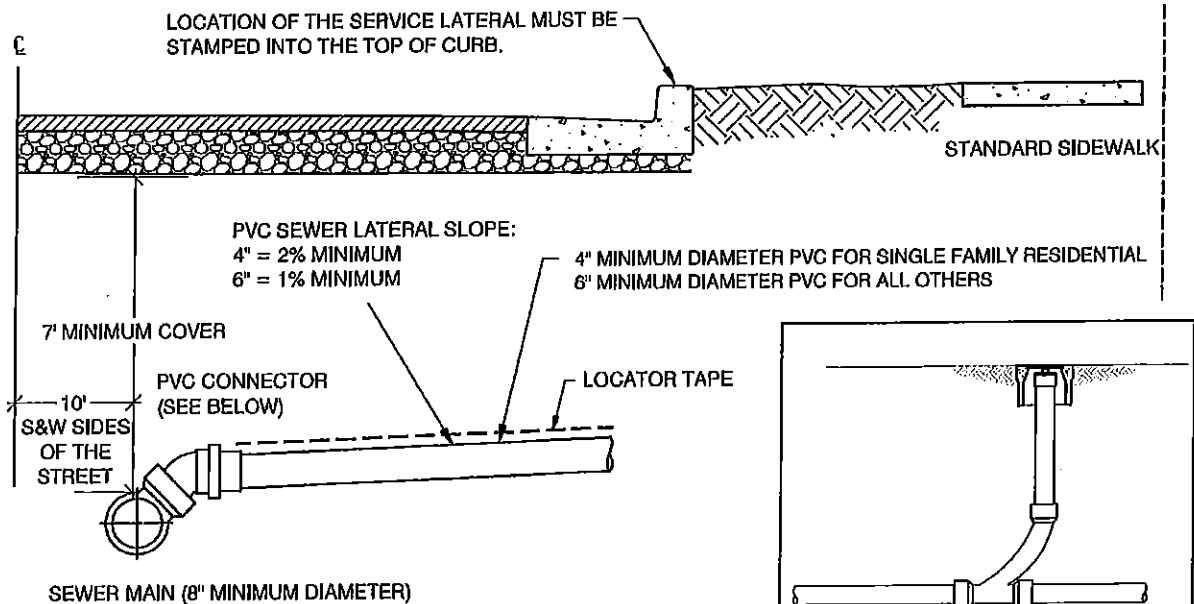
Driveway Width - Residential			
	Lots with 1-2 Units	Lots with 3-4 Units	Lots with 5 or more Units
Minimum Width	10 feet	16 feet	24 feet
Maximum Width	32 feet or 50% of lot frontage (whichever is less)	32 feet or 50% of lot frontage (whichever is less)	35 feet or 50% of lot frontage (whichever is less)
Minimum Concrete Thickness	6 inches	6 inches	6 inches

- a. All single-family residential driveways shall be offset from other driveways by no less than six feet (6').
- b. Single-family homes shall be allowed one access-way onto the public street for each lot
 - 1) One additional access may be permitted for single-family homes if the access meets the additional City municipal code requirements.
 - a) Additional accesses must be approved by the City prior to installation.
 - b) This approach shall be used to service a circular driveway or accessory vehicle parking slab.
- c. Corner lots with more than 250 feet (250') of combined street frontage can request a third access for circular drives.

4. Commercial/Industrial Approaches

Driveway Width - Commercial/Industrial		
	Tractor/Trailer Use Only	General Use
Minimum Width	35 feet	24 feet
Maximum Width	50 feet	35 feet
Minimum Concrete Thickness	8 inches	8 inches

- a. All Commercial/Industrial driveways shall be offset from driveways on other properties by 20 feet (20').
- b. Approaches shall not be within eight feet (8') of an interior property line.
- b. A maximum of two (2) approaches will be permitted per parcel. Additional approaches will require the approval of the City Engineer and a traffic study be completed. Other approach restrictions are as follows:
 - 1) The driveway width and separation on State maintained roadways shall be as required by the Utah Department of Transportation.
 - 2) In parcels accommodating twenty (20) or more parking spaces, driveways must be separated by at least 250 feet (250'). Any requested reduction will require a traffic study and approval from the City Engineer.
 - 3) In parcels with less than twenty (20) parking spaces, driveways must be separated by at least 100 feet (100'). Any requested reduction will require a traffic study and approval from the City Engineer.



CONNECTING TO AN EXISTING PIPE

CONNECTING TO A WYE OR TEE

NOTES:

1. CONNECTION FEES WILL BE ASSESSED AT THE TIME A PERMIT IS ISSUED. SEWER TAPS WILL BE PERFORMED BY OGDEN CITY PERSONNEL, WYE CONNECTIONS WILL BE PERFORMED BY THE CONTRACTOR UNDER THE SUPERVISION OF AN OGDEN CITY INSPECTOR.
2. SEWER TAPS INTO EXISTING 8" DIAMETER SANITARY SEWER PIPES SHALL NOT BE GREATER THAN 4".
3. ALLOWABLE SANITARY SEWER LATERAL PIPE MATERIAL:
 - 3.1. PVC SDR-35, GREEN IN COLOR
 - 3.2. HDPE DR-17
4. REQUIREMENTS FOR THE BEDDING OF A LATERAL IS THE SAME AS SHOWN IN SS-4.
5. THE SEWER LATERAL LOCATIONS SHALL BE MARKED WITH AN "S" IN THE TOP OF THE CONCRETE CURB.
6. PVC JOINTS OF RUBBER RING MUST COMPLY WITH ASTM D-1869.
7. FOR NEW PROJECTS: EXTEND SEWER LATERAL 5' BEHIND THE BACK OF THE SIDEWALK OR PROPERTY LINE, WHICHEVER IS FURTHER. THE END OF A LATERAL SHALL BE MARKED WITH A 2x4, SET IN THE GROUND, AND HAVE THE END COLORED GREEN.
8. CLEANOUTS SHALL BE REQUIRED EVERY 100'.
9. SEWER PIPE SHALL BE MARKED WITH A 6" DETECTABLE GREEN COLORED LOCATOR TAPE LABELED "SANITARY SEWER"

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

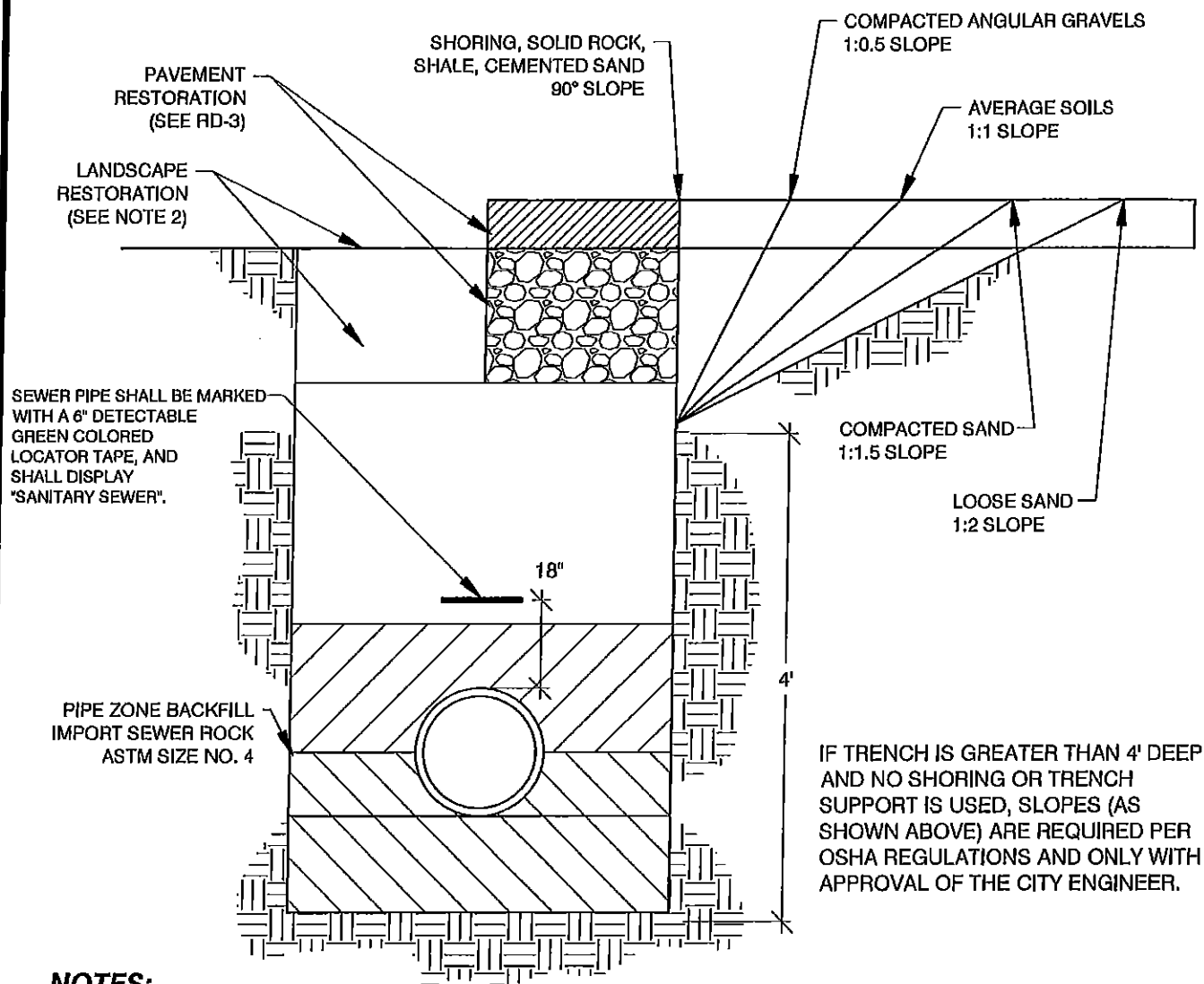


SEWER LATERAL CONNECTION

JUSTIN ANDERSON, CITY ENGINEER

SS-2

SHEET 1 OF 1



NOTES:

1. BACKFILL: ABOVE THE PIPE ZONE.
 - 1.1. GRANULAR FILL: PLACE FILL PER APWA SECTION 33 05 20.
 - 1.2. COMPACT PER APWA SECTION 31 23 26 TO A STANDARD PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS BEFORE COMPACTION IS 8" WHEN USING RIDING AND 6" WHEN USING HAND COMPACTION EQUIPMENT.
2. LANDSCAPE RESTORATION: LANDSCAPE MUST BE RETURNED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
3. PAVEMENT RESTORATION: DO NOT INSTALL ANY PORTION OF ASPHALT OR CONCRETE SURFACING UNTIL TRENCH COMPACTION IS ACCEPTABLE TO THE ENGINEER.
4. PEA GRAVEL IS NOT ALLOWED IN ANY PART OF THE TRENCH.
5. STANDARD SEWER MAIN ALIGNMENT SHALL BE 10' WEST OR 10' SOUTH OF THE CENTERLINE IN THE PUBLIC RIGHT-OF-WAY (SEE RD-1).
6. HORIZONTAL CLEARANCE TO ANY WATER MAIN SHALL BE AT LEAST 10' (REFER TO UTAH ADMINISTRATIVE CODE # R309-550).
7. COMPACTION TESTS ARE REQUIRED EVERY 200 LINEAR FEET OF A MAIN INSTALLATION PER APWA SECTION 33 05 20. COMPACTION TESTS ARE REQUIRED AT HALF AND FULL DEPTHS.

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

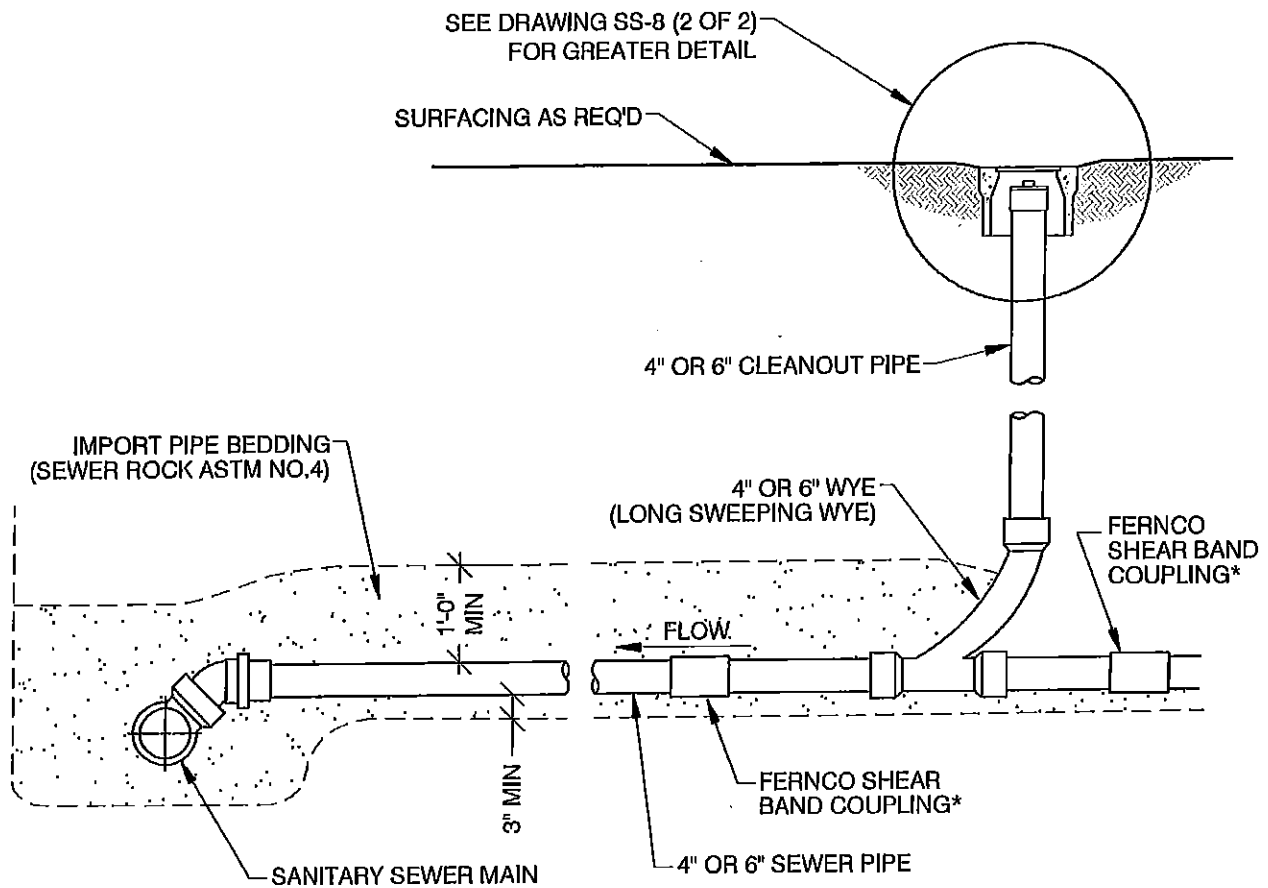


SEWER PIPE TRENCH

JUSTIN ANDERSON, CITY ENGINEER

SS-3

SHEET 1 OF 1



***NOTE:** FERNCO SHEAR BAND COUPLINGS USED FOR LATERAL REPAIRS ONLY.

NOTES:

1. OBTAIN PERMIT
2. OGDEN CITY IS NOT RESPONSIBLE FOR FLUSHING LATERALS. OWNER IS RESPONSIBLE FOR LATERAL FROM CONNECTION AT THE MAIN TO THE HOME.
3. CLEANOUTS SHALL BE PLACED EVERY 100 FEET.
4. IF LATERAL IS IN EXISTING CONCRETE, SEE PAGE 2.
5. ALL FITTINGS EXCLUDING THE CAP NEED TO BE RUBBER GASKETED.
6. NO CLEANOUT SHALL BE INSTALLED IN ANY ROADWAY.
7. ALLOWABLE PIPE MATERIALS ARE ABS (ACRYLONITRILE BUTADIENE STYRENE), GREEN IN COLOR OR PVC (POLYVINYL CHLORIDE) SDR-35

OGDEN CITY ENGINEERING - STANDARD DRAWINGS

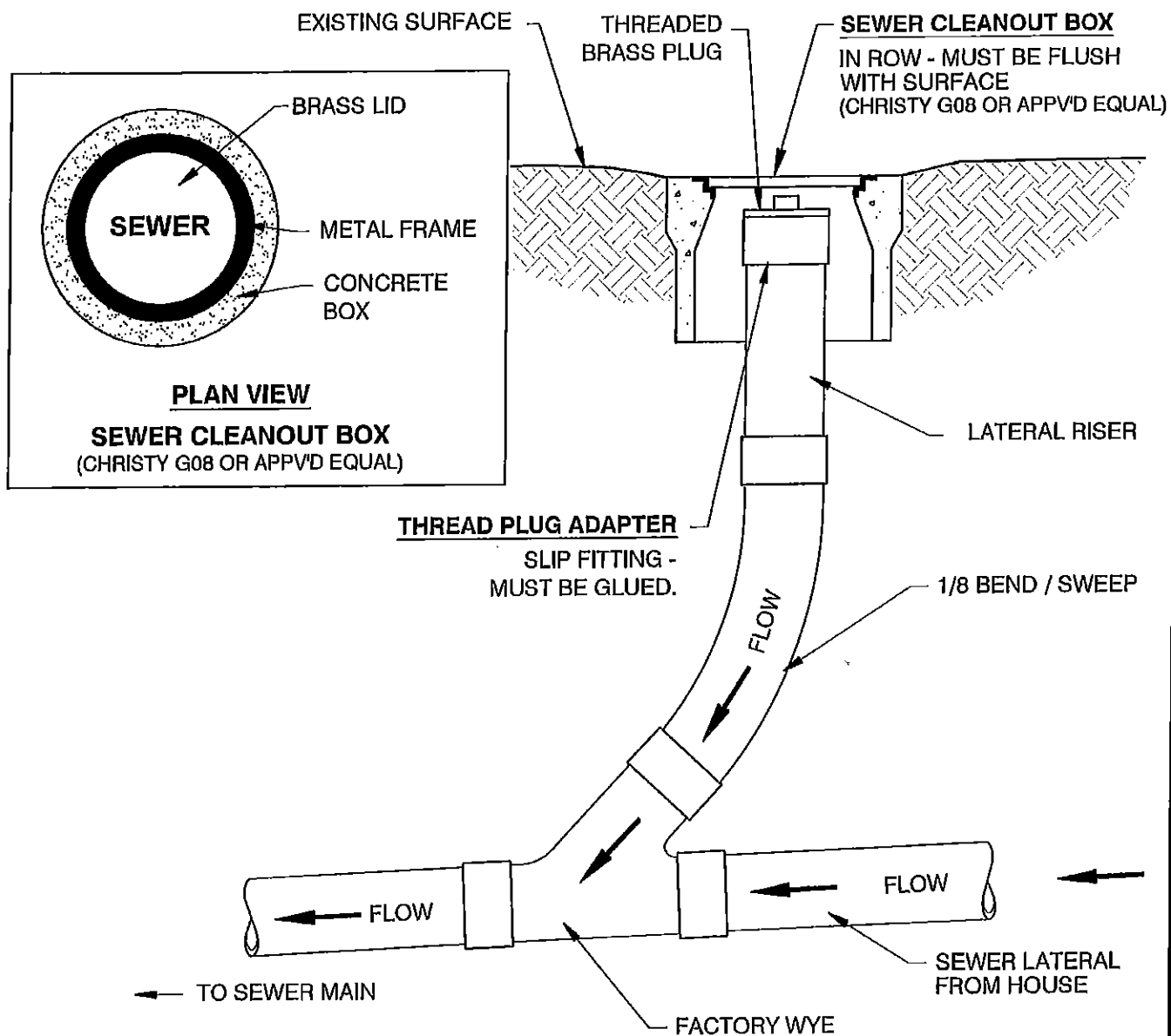


SEWER LATERAL CLEANOUT

JUSTIN ANDERSON, CITY ENGINEER

SS-8

SHEET 1 OF 2



NOTES:

1. OBTAIN PERMIT
2. OGDEN CITY IS NOT RESPONSIBLE FOR FLUSHING LATERALS. OWNER IS RESPONSIBLE FOR LATERAL FROM CONNECTION AT THE MAIN TO THE HOME.
3. CLEANOUTS SHALL BE PLACED EVERY 100 FEET.
4. ALL FITTINGS EXCLUDING THE CAP NEED TO BE RUBBER GASKETED.
5. NO CLEANOUT SHALL BE INSTALLED IN ANY ROADWAY.
6. ALLOWABLE PIPE MATERIALS ARE ABS (ACRYLONITRILE BUTADIENE STYRENE), GREEN IN COLOR OR PVC (POLYVINYL CHLORIDE) SDR-35
7. SEE SHEET SS-8 (PAGE 1 OF 2) FOR FURTHER DETAIL.

OGDEN CITY ENGINEERING - STANDARD DRAWINGS



SEWER LATERAL CLEANOUT

JUSTIN ANDERSON, CITY ENGINEER

SS-8

SHEET 2 OF 2