ADDENDUM #1

Project: Ogden-Hinkley Airport
Front Terminal Expansion

Architect: Sanders Associates Architects
2668 Grant Ave. Suite 100
Ogden, UT 84401

Owner: Ogden City

Project Manager: Steven Lund AIA
Project Number: 2021-10
Date: 7.10.24

SAA
SANDERS ASSOCIATES ARCHITECTS
2668 Grant Avenue
Ogden, Utah 84401
Phone: 801.621.7303
www.sandersarch.com

The following information is intended to amend, alter, expand or clarify the drawings and specifications issued for this project.
All information in this Addendum shall be made part of the contractor's bid.

BIDDER ITEMS:

1. Exhibit B: Qualification Information for Interested Bidders Form. Submit by July 17, 4:00 pm. Send by e-mail to: Purchasing@OgdenCity.com.

ARCHITECTURAL ITEMS:

1. **Sheet GI002**
    a. Airport SIDA Badding Requirements
        i. The cost for badging testing is $110 per test.

CIVIL ITEMS:

1. **Sheet C0.1**
    a. Some of the demolition work at the main entrance and exit areas of the site are shown omitted from the Project to the line of the new design. The existing site is to remain to the line of new design.
2. **Sheet C1.1**
    a. Some of the site work at the main entrance and exit areas of the site are shown omitted from the Project to the line of the new design. The existing site is to remain to the line of new design.
3. **Sheet C2.1**
    a. Some of the grading work at the main entrance and exit areas of the site are shown omitted from the Project to the line of the new design. The existing site is to remain to the line of new design.
4. **Sheet C3.1**
    a. Some of the utility work at the main exit area of the site is omitted from the Project.
5. **Sheet C5.1**
    a. Some of the erosion control areas at the main entrance and exit of the site are shown omitted from the Project to the line of the new design.

LANDSCAPING ITEMS:

1. **Sheet L1.1**
    a. Some of the landscape work at the main exit area of the site has been modified.
2. **Sheet L1.2**
    a. Some of the landscape work at the main entrance area of the site has been modified and areas omitted from the Project.
3. **Sheet L1.3**
    a. Some of the landscape work at the main exit area of the site has been modified and areas omitted from the Project.
4. **Sheet L2.1**
    a. Some of the irrigation work at the main exit area of the site has been modified.
5. **Sheet L2.2**
    a. Some of the irrigation work at the main entrance area of the site has been modified and areas omitted from the Project.
6. **Sheet L2.3**
    a. Some of the irrigation work at the main exit area of the site has been modified and areas omitted from the Project.

Supporting Documents: Exhibit B, GI002, C0.1, C1.1, C2.1, C3.1, C5.1, L1.1, L1.2, L1.3, L2.1, L2.2. L2.3

ARCHITECTURAL PRIOR APPROVALS:

The following Substitution Requests have been reviewed for this Project. Note: All products are to meet Specification Section 016001, “Buy American Preference Requirements (AIP).”

1. SPECIFICATION 074213 “Composite Metal Panel Systems”
    a. Alfrex LLC: Approved Manufacturer (074213-2.1-B1) (The colors for the metal panels are to be matched and are indicated in 074213-2.4-A-d, 1) DON GREY, Alpolic (wall panels).

2. SPECIFICATION 079100 “Preformed Joint Seals”
    a. Erie Metal Specialties: Approved Manufacturer (079101-2.1-A1)

3. SPECIFICATION 079513.13 “Interior Expansion Joint Cover Assemblies”
    a. Erie Metal Specialties: Approved Manufacturer (079513.13-2.3-A) (079513.13-2.4-A)

4. SPECIFICATION 093000 “Tiling”
    a. Ardex Americas: Approved Manufacturer (093000 2.6 A) (093000 2.7A)

QUESTIONS:

1. N/A

End of ADDENDUM #1

Supporting Documents: Exhibit B, GI002, C0.1, C1.1, C2.1, C3.1, C5.1, L1.1, L1.2, L1.3, L2.1, L2.2. L2.3

KEYED NOTES - MASTER LIST

1.04 ASBESTOS TILE AT LANDING, DO NOT REMOVE
1.06 LINE OF WALL BELOW
1.07 CANOPY ROOF BELOW, REFER TO SHEET AE110
3.07 INFILL EXISTING RECESS IN CONCRETE SLAB WITH NEW CONCRETE. PROVIDE GEOFOAM SUPPORT STRUCTURE
3.08 ARCHITECTURAL CONCRETE BENCH. REFER TO DETAILS
3.12 FALL PROTECTION ANCHOR WELDED TO COLUMN. REFER TO DETAIL C4/AE531
5.51 METAL ACCESS LADDER
5.95 PREFINISHED METAL COPING
5.96 STAINLESS STEEL 3"X3"X5" CORNER GUARD, REFER TO SPEC.
6.11 REMOVE EXISTING WALL FURRING FOR COLUMN AND DOOR CUTOUT-INSTALLATIONS. INSTALL NEW FURRING & DRYWALL. PATCH TO EXISTING SURFACES
7.2 CAULK GAPS
7.13 2" ROOF TO WALL EXPANSION JOINT, REFER TO DETAILS
7.16 RUN ROOF EXPANSION JOINT TO WALL JOINT AND SEAL TO SHEET METAL COPING
7.17 REMOVE EXIST. ROOF COPING AND WRAP WITH NEW PVC MEMBRANE
7.18 RUN ROOF EXPANSION JOINT VERT. ON PARAPET AND HORIZ. TO WALL JOINT. SEAL TO SHEET METAL COPING
7.68 SINGLE PLY MEMBRANE ROOFING SYSTEM OVER TAPERED INSULATION
7.91 2" INTERIOR FLEXIBLE GASKET CEILING EXPANSION JOINT, REFER TO DETAILS
9.14 REVIEW ALL WALLS FOR ANY WALL DAMAGE INCLUDING AT REMOVED BASE. PATCH WALLS FOR PAINTING.
9.17 PATCH EXISTING WALLS WHERE DEMOLITION HAS OCCURRED
9.22 EXISTING EXPOSED CONCRETE BEAMS AND COLUMNS ARE NOT TO BE PAINTED
9.23 EXISTING CONCRETE COLUMN TO REMAIN. REMOVED ANY PLASTER TO EXPOSED CONCRETE FINISH. REMOVE ANY FASTENERS AND GRIND OFF ANY IMPERFECTIONS. REPAIR DAMAGED AREAS. COLUMN NOT TO BE PAINTED
9.47 PATCH EXISTING CONCRETE FLOOR SURFACES AT REMOVED WALLS AND ANY OTHER DAMAGED AREAS
9.48 INSTALL FLOOR LEVELING WHERE EXISTING SLABS ARE IRREGULAR OR UNEVEN
9.49 INSTALL FLOOR LEVELING WHERE EXISTING FLOOR DRAINS ARE RAISED ABOVE THE EXISTING CONCRETE SURFACE. TAPER LEVELING BEYOND THE ROOM IN THE HALL AREA.
9.51 CLEAN EXISTING RUBBER TREADS-RISERS, REPAIR ANY DAMAGE. REPLACE THE TOP STAIR NOSING TO MATCH EXISTING.
9.74 EXISTING CONCRETE BEAM TO REMAIN. EXPOSED CONCRETE FINISH. REMOVE ANY FASTENERS AND GRIND OFF ANY IMPERFECTIONS, REPAIR DAMAGED AREAS
9.77 EXISTING PLASTER CEILING TO REMAIN, PATCH ANY DAMAGE AND SUPPORT TO NEW FRAMING.
9.78 CLEANOUT THE EXPOSED CEILING AREAS. SUPPORT ANY LOOSE CONDUIT, WIRING AND PIPING. PAINT EXISTING EXPOSED BOTTOM OF FLOOR, CONDUIT, WIRING, PIPING AND DUCTWORK.
10.01 SEMI-RECESSED FIRE EXTINGUISHER CABINET
10.05 EXISTING VAULT HOUSING FOR RUNWAY LIGHTS TO REMAIN UNDISTURBED. PROTECT DURING CONSTRUCTION. RAISE CONCRETE HOUSING AND PROVIDE NEW DECORATIVE DIAMOND-PLATED LID.
10.06 EXISTING RECESSED FIRE EXTINGUISHER CABINET TO REMAIN FOR REUSE
10.07 EXISTING FIRE EXTINGUISHER TO BE REINSTALLED, SURFACE-MOUNT
10.08 NEW MOP & BROOM HOLDER, SEE TOILET ACCESSORY SCHEDULE ON AE421
11.01 SURFACE MOUNTED TV, BY OWNER, REFER TO ELECTRICAL
11.07 BAGGAGE CAROUSEL, BY OWNER, VERIFY SIZE & POWER/DATA REQUIREMENTS
11.12 TSA COMPUTER TRAINING STATION, BY OTHERS
11.13 TSA EMPLOYEE LOCKERS, BY OTHERS, VERIFY SIZE
11.14 FUTURE BAGGAGE CAROUSEL, BY OWNER
11.15 TSA MANAGER DESK & COMPUTER STATION, BY OTHERS
12.01 FURNISHINGS BY OTHERS
21.02 FIRE RISER LOCATION
22.03 SINK, REFER TO PLUMBING, TYP.
22.06 ADA TOILET, REFER TO PLUMBING
22.08 HIGH-LOW DRINKING FOUNTAIN WITH BOTTLE FILLER, REFER TO PLUMBING
22.09 FLOOR DRAIN, REFER TO PLUMBING
22.16 EXISTING MOP SINK TO REMAIN
23.01 NEW MECHANICAL EQUIPMENT, REFER TO MECHANICAL
23.02 EXPOSED DUCTWORK, REFER TO MECHANICAL
23.03 RTU CLEARANCE, REFER TO MECHANICAL
23.04 EXISTING RTU TO REMAIN, REFER TO MECHANICAL
23.05 NEW RTU, REFER TO MECHANICAL
23.07 NEW FURNACE, REFER TO MECHANICAL
23.11 EXISTING RETURN AIR FLOOR GRILLE TO REMAIN. CLEAN SURFACES
28.01 CARD READER BY OTHERS, PROVIDE CONDUIT FOR WIRING, 8" THICK 18" X 18" CONCRETE PAD AND 'VIKING SECURITY & COMMUNICATION' 42 INCH GOOSENECK PEDESTAL VE-GNP WITH VE-SXS-PNL RAIN SCREEN BACK BOX, OR APPROVED EQUAL
28.02 CARD READER BY OTHERS, PROVIDE CONDUIT FOR WIRING, CARD READER CONNECTED TO BOTH 134B & 134C DOOR OPERATORS ON TIMED RELEASE
28.03 CARD READERS ON BOTH SIDES BY OTHERS, PROVIDE CONDUIT FOR WIRING, CARD READERS CONNECTED TO BOTH 112B & 112A DOOR RELEASING 112A WHEN 112B IS CLOSED
32.01 6" DIAMETER PIPE BOLLARD FILLED WITH CONCRETE, REFER TO DETAIL D4/AE521

KEYED NOTES - MASTER LIST

D2.03 REMOVE EXISTING WALL
D2.04 REMOVE EXISTING CEILING SYSTEM & LIGHTS
D2.05 REMOVE EXISTING WOOD PANELING DOWN TO EXISTING CMU WALL
D2.08 REMOVE EXISTING WOOD PANELING DOWN TO EXISTING CONCRETE COLUMN
D2.13 REMOVE EXISTING EXTERIOR WOOD TABLE AND CANOPY
D2.20 REMOVE EXISTING DOOR & FRAME
D2.21 REMOVE EXISTING WINDOW
D2.23 REMOVE EXISTING EXTERIOR CONCRETE STAIRS
D2.24 REMOVE EXISTING TOILET PARTITIONS
D2.25 REMOVE EXISTING SINK, CAP LINES, REFER TO PLUMBING
D2.26 REMOVE EXISTING SURFACE-MOUNTED FIRE EXTINGUISHER, TO BE REINSTALLED
D2.31 REMOVE EXISTING CARPET FLOORING AND GLUE. RETURN CARPET TILE TO OWNER ON SHRINK WRAPPED PALLETS
D2.36 REMOVE EXISTING LIGHT FIXTURE(S)
D2.39 REMOVE EXISTING EXTERIOR CONCRETE LANDING
D2.41 REMOVE EXISTING TOILET, CAP LINES, REFER TO PLUMBING
D2.44 REMOVE EXISTING TILE FLOORING & MORTAR BED, DO NOT DAMAGE CONCRETE FLOOR SURFACE BELOW
D2.45 REMOVE EXISTING WALL TILE, TYP.
D2.48 REMOVE EXISTING EXTERIOR WALL-MOUNTED LIGHTS
D2.52 REMOVE EXISTING COUNTERTOP
D2.54 REMOVE EXISTING EXTERIOR CONCRETE RAMP
D2.55 REMOVE EXISTING HANDRAILS
D2.56 REMOVE EXISTING WALL-MOUNTED HAND DRYER
D2.57 REMOVE EXISTING MIRRORS
D2.58 REMOVE EXISTING WOOD SHELVING
D2.59 REMOVE EXISTING BENCH
D2.61 REMOVE EXISTING TILE CURB
D2.62 DISASSEMBLE AND REMOVE EXISTING BRICK AND MORTAR THAT WAS BELOW THE REMOVED BOILER. GRIND AND PATCH EXISTING FLOOR SURFACE
D2.64 REMOVE EXISTING FLOOR-MOUNTED URINAL, CAP LINES, REFER TO PLUMBING
D2.66 REMOVE EXISTING SHOWER STALL DOOR
D2.67 REMOVE EXISTING ACOUSTIC GRID CEILING
D2.69 REMOVE EXISTING CONCRETE CANOPY, REMOVE FASCIA & RAIN GUTTER
D2.70 REMOVE EXISTING CONCRETE ROOF OVERHANG, FASCIA, RAIN GUTTER, & LIGHTS. SAW CUT 2' OFF EXISTING WALL
D2.71 REMOVE EXISTING LIGHT FIXTURES IN EXTERIOR SOFFIT
D2.76 REMOVE EXISTING CANOPY STRUCTURE, SOFFIT, & FASCIA
D2.77 REMOVE EXISTING CANOPY COLUMNS & CONCRETE FOOTING AND FOUNDATION AT EACH COLUMN
D2.79 CUT OPENING FOR NEW MAN DOOR
D2.83 REMOVE EXISTING SIGNAGE
D2.85 REMOVE EXISTING CONCRETE BOX, FLOOR TO BE FILLED
D2.88 EXISTING SUMP PUMP TO REMAIN
D2.89 REMOVE EXISTING FLOOR BOARDS, OPENING IN FLOOR TO BE INFILLED WITH GRAVEL OR GEOFOAM. INSTALL NEW 4" CONCRETE SLAB INFILL.
D2.97 REMOVE EXISTING CARPET ADHESIVE FOR FUTURE PREP FOR POLISHING CONCRETE FLOOR SURFACE
D2.112 DRAIN LINE TO REMAIN, REFER TO PLUMBING
D2.114 REMOVE EXISTING DOOR, FRAME TO REMAIN
D2.158 EXISTING PLASTER CEILING TO REMAIN
D2.159 REMOVE AND GRIND EXISTING WALL MATERIALS ON THE EXISTING FLOOR SURFACES AFTER DEMOLITION
D2.160 REMOVE WALK OFF CARPET
D2.161 REMOVE EXISTING COPING
D2.162 REMOVE EXISTING AIR CURTAIN
D2.163 SAW CUT EXISTING SUSPENDED SLAB ABOVE BASEMENT AND REMOVE. SAW CUT TO OCCUR ON CENTER LINE OF THE FOUNDATION WALL AT TRANSITION. SEE STRUCTURAL SHEET S102.
D2.164 REMOVE EXISTING GRATE

SPECIAL INSPECTIONS (2021 IBC)

042200 UNIT MASONRY ASSEMBLIES- HOT AND COLD WEATHER PLACEMENT REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION . INSPECTION IS BY THE OWNERS AGENT.

051200 METALS- SEE REQUIREMENTS ON GENERAL STRUCTURAL NOTES SHEETS PERTAINING TO SPECIAL INSPECTION FOR STEEL COMPONENTS; INSPECTION IS BY THE OWNERS AGENT.

054200 COLD-FORMED METAL FRAMING SEISMIC RESISTANCE SPECIAL INSPECTION SHALL BE PROVIDED PER IBC SECTION 1705.12.3 AND WIND RESISTANCE PER SECTION 1705.11.2. INSPECTION IS BY OWNERS AGENT.

084413 SEISMIC RESISTANCE INSPECTION SHALL BE PROVIDED FOR STOREFRONT SYSTEMS PER IBC SECTION 1704.3.2 AND WIND RESISTANCE PER SECTION 1704.3.3. INSPECTION IS BY OWNERS AGENT.

092200 NON LOAD BEARING STEEL FRAMING, AS REQUIRED BY IBC 1705.12.5 "ARCHITECTURAL COMPONENTS". INSPECTION IS BY THE OWNERS AGENT.

092900 GYPSUM BOARD- COLD WEATHER PLACEMENT REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT.

095100 ACOUSTICAL CEILINGS- SPECIAL INSPECTION REQUIREMENTS AS LISTED IN THIS SPECIFICATION SECTION. INSPECTION IS BY THE OWNERS AGENT.

220548 MECHANICAL SEISMIC RESTRAINTS- AS REQUIRED BY IBC SECTION 1705.12.6 "SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE". INSPECTION IS BY THE OWNERS AGENT.

231100 FUEL GAS PIPING- AS REQUIRED BY IBC SECTION 1705.12.6.3 "MECHANICAL AND ELECTRICAL COMPONENTS", SPECIFICALLY APPLYING TO NATURAL GAS PIPING. INSPECTION IS BY THE OWNERS AGENT.

237400 ROOFTOP AIR CONDITIONERS- AS REQUIRED BY IBC SECTION 1705.12.6.5 "MECHANICAL AND ELECTRICAL COMPONENTS", SPECIFICALLY APPLYING TO ROOF MOUNTED FANS, ROOFTOP UNITS AND AIR HANDLING UNITS; INSPECTION IS BY THE OWNERS AGENT.

260000 ELECTRICAL PER THE REQUIREMENTS OF ASCE 7. THE BUILDING OWNER WILL EMPLOY A SPECIAL INSPECTOR(S) TO OBSERVE THE CONSTRUCTION OF ALL DESIGNATED SEISMIC SYSTEMS IN ACCORDANCE WITH THE QUALITY ASSURANCE PLAN. PERIODIC SPECIAL INSPECTION DURING THE ANCHORAGE OF ELECTRICAL EQUIPMENT FOR EMERGENCY AND STANDBY POWER SYSTEMS, INCLUDING BUT NOT LIMITED TO:

A. EMERGENCY LIGHTING, WITH ASSOCIATED CONDUIT, WIRING AND DISTRIBUTION SYSTEM.

B. FIRE ALARM SYSTEM AND DEVICES, WITH ASSOCIATED CONDUIT, WIRING AND DISTRIBUTION SYSTEM.

ALTERNATES

1. ADDITIVE ALTERNATE #1: BASEMENT REMODEL.

AIRPORT CLOSEOUT SURVEY

1. A SURVEY, BY A LICENSED SURVEYER, IS REQUIRED FOR DOCUMENTING THE FLOOR ELEVATIONS OF THE BUILDING LIMITS THAT WILL BE TIED TO THE AIRPORT SURVEY FOR AGIS SUBMITTAL AT CLOSEOUT. THE MONUMENT CONTROL POINT IS TO BE APPROVED BY THE AIRPORT AUTHORITIES.

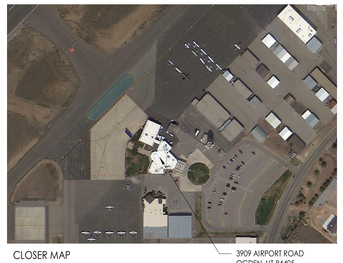
AIRPORT SIDA BADGING REQUIREMENTS ⚠1

1. SIDA BADGING IS REQUIRED FOR ACCESS TO ANY SECURIED AREA IN THE BUILDING OR AIRPORT AREA. ONE BADGED INDIVIDUAL CAN ESCORT 5 NON-BADGED WORKERS, BUT THERE ALWAYS NEEDS TO BE A BADGED INDIVIDUAL WITH THE WORKERS AT ALL TIMES. RECOMMENDATION IS ALL SUBCONTRACTORS TO HAVE AT LEAST TWO BADGED FORMAN. TESTING IS AVAILABLE BY THE AIRPORT FOR $110 PER TEST. I-9 CREDENTIALS ARE REQUIRED FOR BADGING.

DEFERRED SUBMITTALS

CONTRACTOR IS RESPONSIBLE TO SUBMIT DEFERRED SUBMITTALS IN ACCORDANCE WITH IBC 107.3.4.1. AS PART OF THE SUBMITTAL PROCESS, THE CONTRACTOR IS TO SUBMIT ALL ICC-ES EVALUATION REPORTS FOR ITEMS NOTED

- SHORING FOR TEMPORARY STUCTURAL SUPPORT DURING DEMOLITION.
- SUSPENDED CEILING SYSTEMS
- FIRE PROTECTION PER 107.2.2
- FIRE ALARM SYSTEMS
- FIRE MONITORING SYSTEMS
- MECHANICAL / ELECTRICAL SEISMIC RESTRAINTS



CLOSER MAP — 3909 AIRPORT ROAD OGDEN, UT 84405

OVERALL MAP — 3909 AIRPORT ROAD OGDEN, UT 84405

Vicinity Map

N.T.S.

GENERAL SYMBOLS

BREAK LINE
CEILING TAG (A199 - 10.1.72)
VERTICAL ELEVATION (Name, Elevation)
NORTH ARROW
DRAWING REVISION REVISION NUMBER
ROOM NAME (Room name, M-888B, 150 SF)
KEYED NOTES
BUILDING SECTION — SHEET WHERE DRAWN
WALL SECTION — SHEET WHERE DRAWN
DETAIL — SHEET WHERE DRAWN
CALLOUT — SHEET WHERE DRAWN
ELEVATION — SHEET WHERE DRAWN
DOOR NUMBER (888)
WINDOW NUMBER (W1)
PARTITION TYPE (XX)

MATERIALS

CONCRETE, EIFS, STEEL, MASONRY BRICK, GYPSUM BOARD, BLOCKING, EARTH, GRAVEL, INSULATION RIGID, STONE, MASONRY CONCRETE BLOCK, FINISH WOOD, BATT INSULATION, PRECAST, EXIST. BUILDING

ABBREVIATIONS

#	NUMBER	DWGS.	DRAWINGS	I.D.	INSIDE DIAMETER	REINF.	REINFORCED
@	AT	EA.	EACH	I.F.	INSIDE FACE	REQ'D	REQUIRED
℄	CENTER LINE	E.F.	EACH FACE	IN.	INCHES	RM.	ROOM
Ø	DIAMETER	E.J.	EXPANSION JOINT	INFO.	INFORMATION	R.O.	ROUGH OPENING
∠	ANGLE	EL.	ELEVATION	INSUL.	INSULATION	SCHED.	SCHEDULE
A.B.	ANCHOR BOLT	ELEV.	ELEVATION	LAV.	LAVATORY	SHR.	SHOWER
ABV.	ABOVE	EQ.	EQUAL	LT.	LIGHT	SHT.	SHEET
ADJ.	ADJUSTABLE	E.S.	EACH SIDE	LT. WT.	LIGHT WEIGHT	SIM.	SIMILAR
A.F.F.	ABOVE FINISH FLOOR	E.W.	EACH WAY	MAINT.	MAINTENANCE	SPEC.	SPECIFICATION
ALUM.	ALUMINUM	EXIST.	EXISTING	MANUF.	MANUFACTURER	STC	SOUND TRANSMISSION COEFFICIENT
APPROX.	APPROXIMATE	EXPAN.	EXPANSION	MAX.	MAXIMUM	STD.	STANDARD
ARCH.	ARCHITECTURAL	EXT.	EXTERIOR	MAT.	MATERIAL	STIFF.	STIFFENER
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS	F.D.	FLOOR DRAIN	M.C.J.	MASONRY CONTROL JOINT	STR.	STRUCTURAL
D.B.A.	DEFORMED BAR ANCHOR	FDN.	FOUNDATION	MECH.	MECHANICAL	SUPER.	SUPERVISOR
BD.	BOARD	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	SUSP.	SUSPENDED
BLDG.	BUILDING	F.E.C.	FIRE EXTINGUISHER CABINET	MIN.	MINIMUM	THRU	THROUGH
B.M.	BENCHMARK	F.F.	FINISH FLOOR	MISC.	MISCELLANEOUS	T.O.	TOP OF
B.O.	BOTTOM OF	FIN.	FINISH	M.O.	MASONRY OPENING	T.O.A.	TOP OF ASPHALT
BOT.	BOTTOM	FLR.	FLOOR	MTL.	METAL	T.O.C.	TOP OF CURB
B.P.	BASE PLATE	FT.	FEET	N.I.C.	NOT IN CONTRACT	T.O.P.	TOP OF PAVING
BRG.	BEARING	FTG.	FOOTING	NO.	NUMBER	T.O.F.	TOP OF FOOTING
BTWN.	BETWEEN	GA.	GAGE/GAUGE	N.T.S.	NOT TO SCALE	T.O.S.	TOP OF SLAB OR SIDEWALK
CER.	CERAMIC	GAL.	GALLON	O.C.	ON CENTER	T.O.W.	TOP OF WALL
C.J.	CONSTRUCTION JOINT	GALV.	GALVANIZED	O.D.	OUTSIDE DIAMETER	TYP.	TYPICAL
CLG.	CEILING	GND.	GROUND	O.F.	OUTSIDE FACE	U.N.O.	UNLESS NOTED OTHERWISE
CLR.	CLEAR	GWB.	GYPSUM WALL BOARD	O.H.	OVERHEAD	VCT	VINYL COMPOSITION TILE
CMU	CONCRETE MASONRY UNIT	GYP. BD.	GYPSUM WALL BOARD	OHD	OVERHEAD DOOR	VERT.	VERTICAL
COL.	COLUMN	HC.	HANDICAPPED	OPP.	OPPOSITE	VEST.	VESTIBULE
CONC.	CONCRETE	HDW.	HARDWARE	PART.	PARTITION	VNR.	VENEER
CONT.	CONTINUOUS	H.M.	HOLLOW METAL	PL.	PLATE	W/	WITH
CONST.	CONSTRUCTION	HORIZ.	HORIZONTAL	PNTD.	PAINTED	WD.	WOOD
COORD.	COORDINATE	HR.	HOUR	PROT.	PROTECTION	W.W.F.	WELDED WIRE FABRIC
DBL.	DOUBLE	H.S.A.	HEADED STUD ANCHOR	P.S.F.	POUNDS PER SQUARE FOOT		
DEPT	DEPARTMENT	HT.	HEIGHT	P.S.I.	POUNDS PER SQUARE INCH		
DIA.	DIAMETER	HVAC	HEATING/VENTILATION/ AIR CONDITIONING	QTY.	QUANTITY		
DTL.	DETAIL	HYD	HYDRANT	R.D.	ROOF DRAIN		
				RAD.	RADIUS		

DRAWING INDEX

MISCELLANEOUS GENERAL NOTES

1. THE PROJECT MANUAL, UNDER SEPARATE COVER, IS AN INTEGRAL PART OF THESE CONSTRUCTION DRAWINGS.
2. PLANS, SECTIONS, ELEVATIONS, DETAILS AND DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATIONS OCCURRING THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY NOTED ON THE DRAWINGS.
3. ALL WORK, MATERIALS, AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION.
4. CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION ON THE DOCUMENTS.
5. KEEP SITE CLEAN AND CLEAR OF DEBRIS AND IN ORDERLY CONDITION THAT DOES NOT DETRACT FROM THE SURROUNDING SITE AND REPAIR ANY DAMAGE CAUSED BY WORK OF THE CONTRACT.
6. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT SURFACE. COLOR REQUIRES ARCHITECTS APPROVAL.
7. ALL SPECIAL ACCESSIBLE FACILITIES SHALL BE IDENTIFIED WITH APPROVED SIGNAGE.
8. THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING A WEATHER TIGHT BUILDING. DETAILS AND OMISSIONS TO DRAWINGS NOTWITHSTANDING. ALL DRAWING CONFLICTS WHICH MAY NOT ALLOW A WEATHERTIGHT CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL SUBMIT SPECIFIC DISCREPANCIES FOR ARCHITECT REVIEW.
10. PROVIDE FULL METAL BACKING PLATE (16 GAUGE X 6" HIGH SECURED TO 3 STUDS MIN.) OR WOOD BLOCKING AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (CABINETS, TOILET ROOM ACCESSORIES, HARDWARE, ETC.). BLOCKING SHALL PROVIDE A RIGID CONNECTION CAPABLE OF SUPPORTING DESIGN LOADS. PROVIDE A 16 GAUGE X 6" STL STUD/TRACK SECURED TO 2 STUDS TO SECURELY SUPPORT ALL WALL STOPS (DOOR BUMPER).
11. COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT. EQUIPMENT PADS OR BASES, AS WELL AS ELECTRIC POWER, WATER, AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES' WORK, ANY CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. A REASONABLE RESPONSE TIME SHALL BE ALLOWED AS NOTED IN THE SPECIFICATIONS.
12. ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN APPROVED MANNER.
13. FIRE SPRINKLER DESIGN TO BE DONE BY A CERTIFIED SUB-CONTRACTOR PRIOR TO SUBMITTAL TO ARCHITECT. SUBMITTAL TO THE ARCHITECT ALSO INDICATES THAT THE CONTRACTOR HAS REVIEWED AND COORDINATED FIRE-SPRINKLER PIPING LOCATIONS WITH ALL TRADES.
14. ROOMS ENCLOSED WITH RATED WALLS REQUIRE RATED DOORS. ANY DUCTS PASSING THROUGH WALLS REQUIRE FIRE DAMPERS AND OR FIRE/SMOKE DAMPERS. ANY CONDUIT OR PIPING REQUIRES RATED SEALANT AT JOINTS.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND LOCATE ELECTRICAL, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CASEWORK DOORS, ETC.
16. THE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL AND STRUCTURAL DESIGN CONCEPT. THE DIMENSIONS OF THE BUILDING, THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL AND UTILITY SYSTEMS AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION AS "SCOPE" DOCUMENTS.

SAA
SANDERS ASSOCIATES ARCHITECTS
2665 Grant Avenue
Ogden, Utah 84401
Phone: 801.621.7303
www.sandersarch.com

Seal

STATE OF UTAH — M. SHANE SANDERS — No. 6026553 — 7-1-24 — LICENSED ARCHITECT

Consultant

Project Name
OGDEN-HINCKLEY AIRPORT
FRONT TERMINAL EXPANSION
3909 AIRPORT ROAD
OGDEN, UT 84405

Issued

No.	Date	Description
1	07.01.24	BID DOCUMENTS

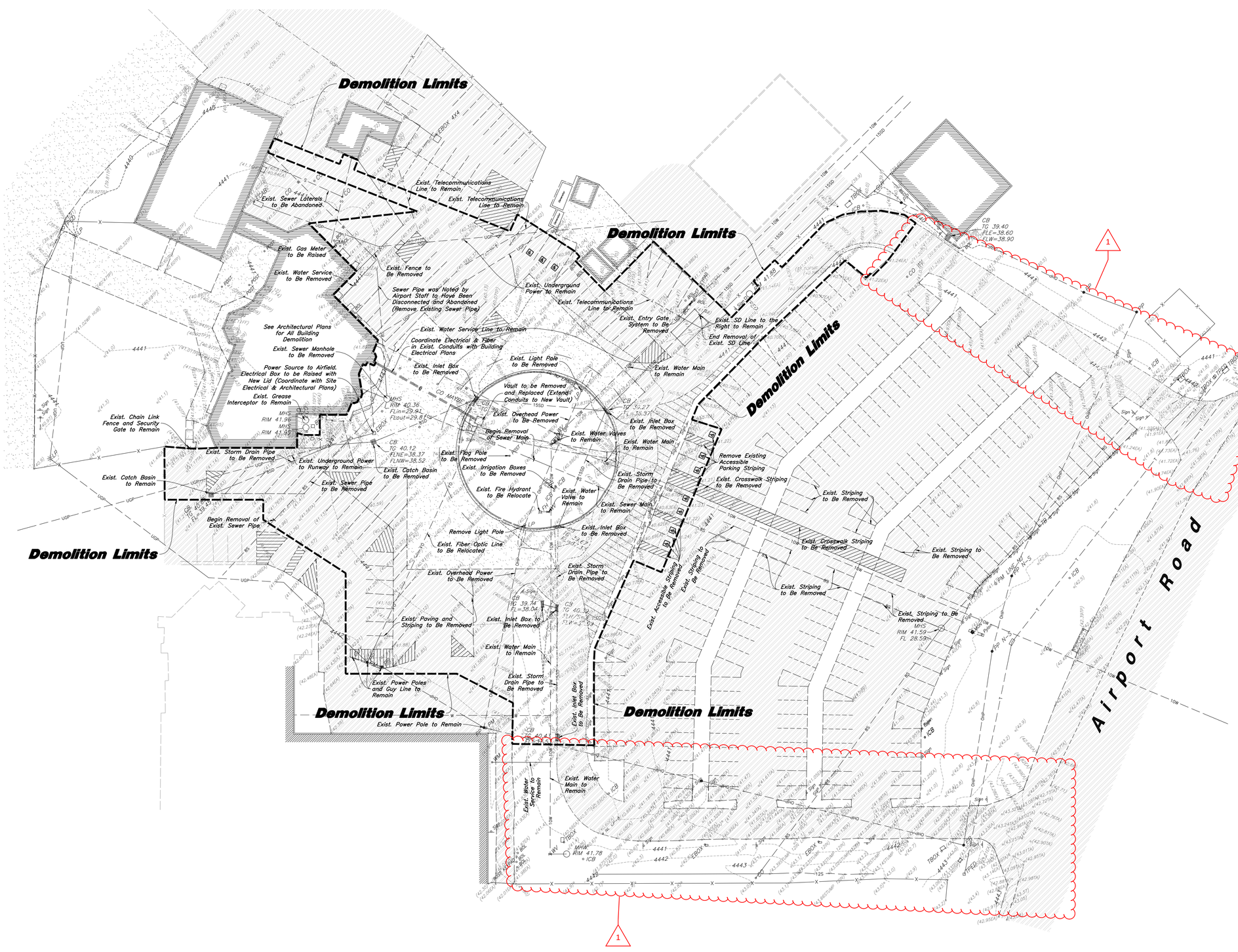
Revision ⚠1

No.	Date	Description
1	07.10.24	ADDENDUM 1

SAA Project No. 2021-10

Drawing Title
GENERAL INFORMATION

Sheet Number
G002



General Demolition Notes:

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
16. If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
18. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
19. Contractor shall shore and protect neighboring properties per OSHA stds. during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.

Scale: 1" = 30'

30' 0 30' 60'

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

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REV	DATE	DESCRIPTION
1	9 Jul. 2024	Addendum #1 - Front Access Changes

Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates
22-074 DM

ANA
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Demolition Plan

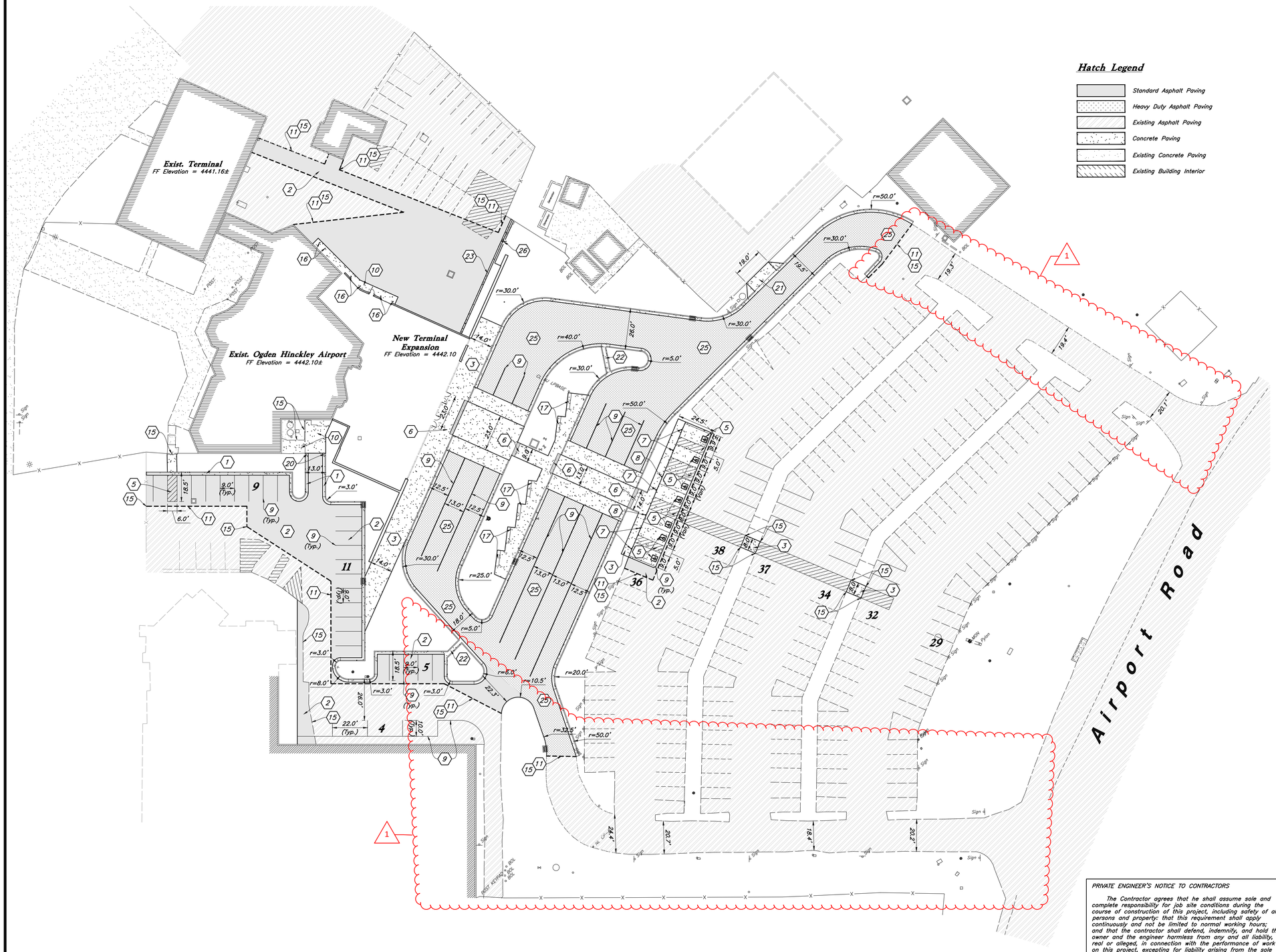
Ogden Airport Front Terminal Addition

3909 Airport Road
Ogden, Utah

REGISTERED PROFESSIONAL ENGINEER
No. 7879285
SHAUN A. YOUNG
4/10/24
STATE OF UTAH

3 Jul, 2024

SHEET NO.
C0.1



Site Construction Notes

1. Const. 24" Curb & Gutter (7/C4.1)
2. Const. Asphalt Paving (1/C4.1)
3. Const. Concrete Sidewalk (12/C4.2)
4. Const. 6" Raised Concrete Curb (3/C4.1)
5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Details Sheet) (20/C4.3)
6. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
7. Const. Accessible Sign with Bollard per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Details Sheet) (13/C4.3)
8. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Details Sheets) (13/C4.3)
9. Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
10. Const. Concrete Paving (2/C4.1)
11. Sawcut; Provide Smooth Clean Edge
12. Const. Directional Arrows per MUTCD
13. Const. 24" White Stop Bar
14. Const. Stop Sign per MUTCD R1-1 (15/C4.3)
15. Connect to Existing Improvements and Match Grade Elevations
16. Const. 6" Concrete Bollard (23/C4.4)
17. Const. Bench Seating (See Architectural Plans for Details)
18. Const. "DO NOT ENTER" Sign per MUTCD R5-1 (16/C4.3)
19. Const. Chain Link Fence
20. Const. Curb Transition from 6" Reveal to Flush over 18 Inches (18/C4.3)
21. Const. Concrete Drive Approach
22. Const. Thru Planter (19/C4.3)
23. Const. Mow Strip (17/C4.3)
24. Const. Stairs (See Architectural Plans for Design)
25. Const. Heavy Duty Asphalt Paving (1/C4.1)
26. Const. Chain Link Fence

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

REV	DATE	DESCRIPTION
1	9 Jul 2024	Addendum #1 - Front Access Changes

Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates

22-074 SP

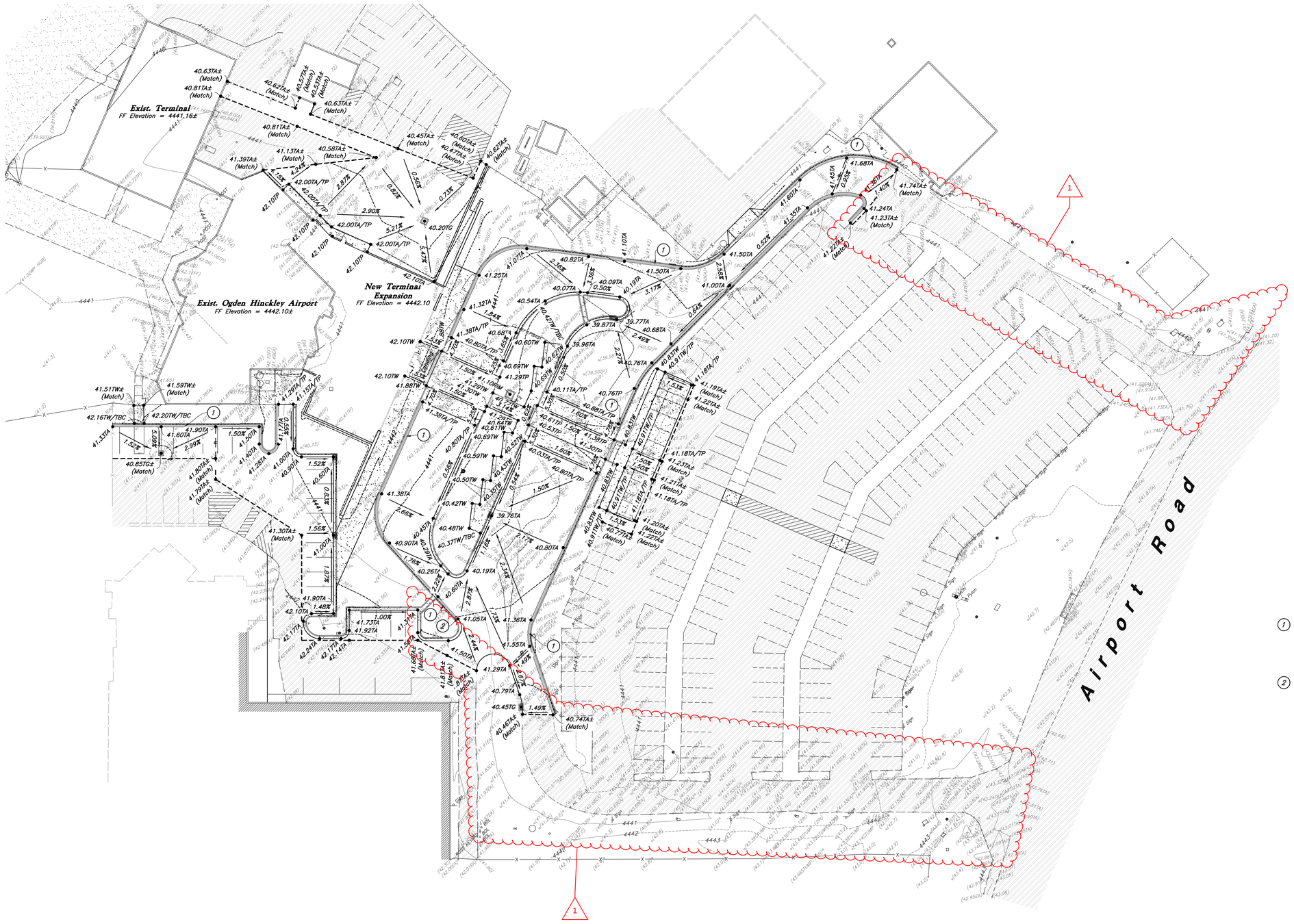
ANA
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Site Plan
Ogden Airport Front Terminal Addition
3909 Airport Road
Ogden, Utah

PROFESSIONAL ENGINEER
No. 7879288
SHAUN A. TOONG
7/10/24
STATE OF UTAH

3 Jul, 2024

SHEET NO.
C1.1



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permitee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
18. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
(1) 2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
(2) 5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%
3. Refer to the Site Plan for sidewalk dimensions.

REV	DATE	DESCRIPTION
1	9 Jul. 2024	Addendum #1 - Front Access Changes

Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates
22-074 GR

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Grading Plan

Ogden Airport Front Terminal Addition

3909 Airport Road
Ogden, Utah

PROFESSIONAL ENGINEER
No. 787928
SHAUN M YOUNG
7/10/24
STATE OF UTAH
REGISTERED

3 Jul, 2024

SHEET NO.
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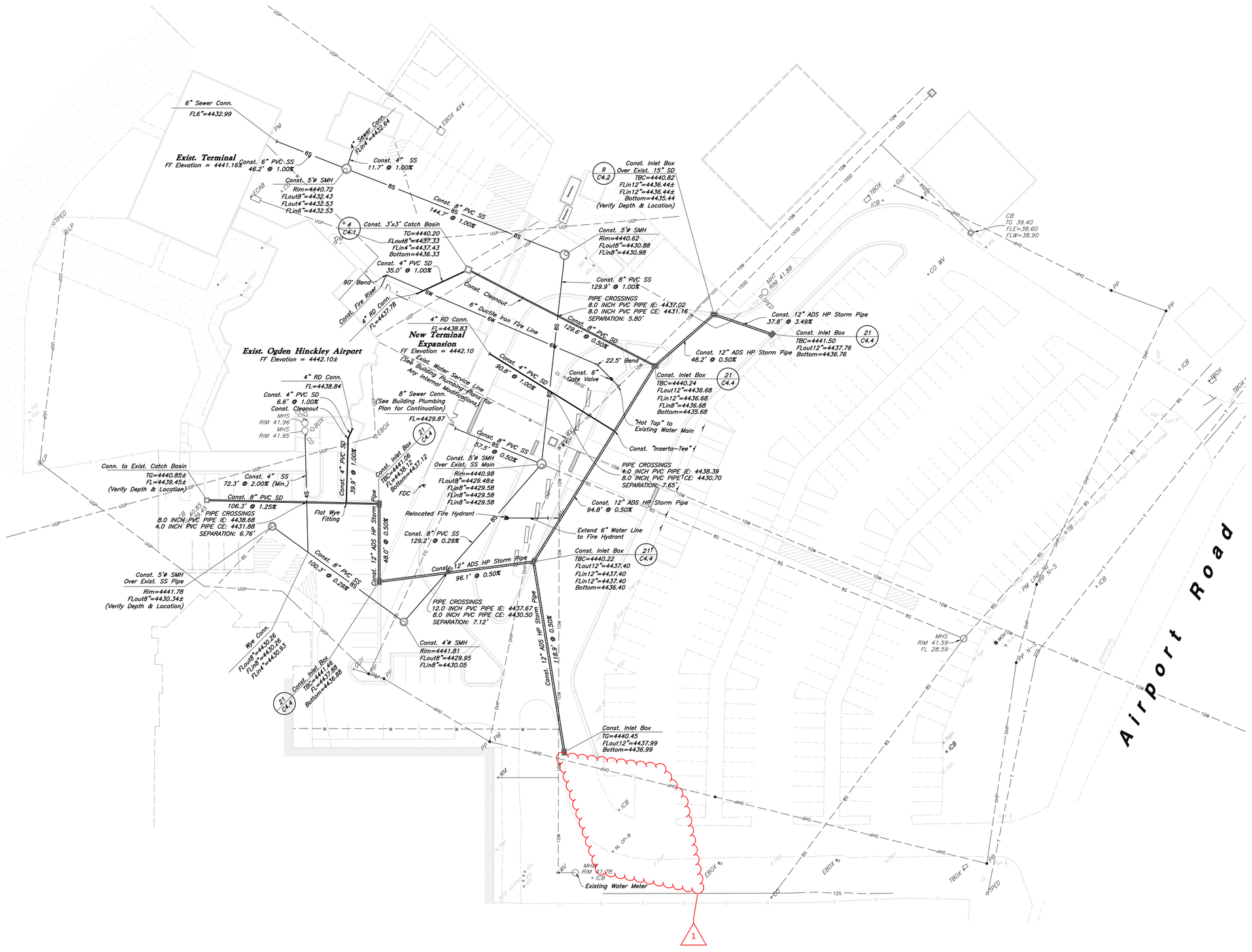

General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type 'K.'

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 235

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller – Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger – Reinforced Concrete Pipe, ASTM C76, Class III

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

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REV	DATE	DESCRIPTION
1	9 Jul, 2024	Addendum #1 – Front Access Changes

Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates
22-074 UT

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Utility Plan

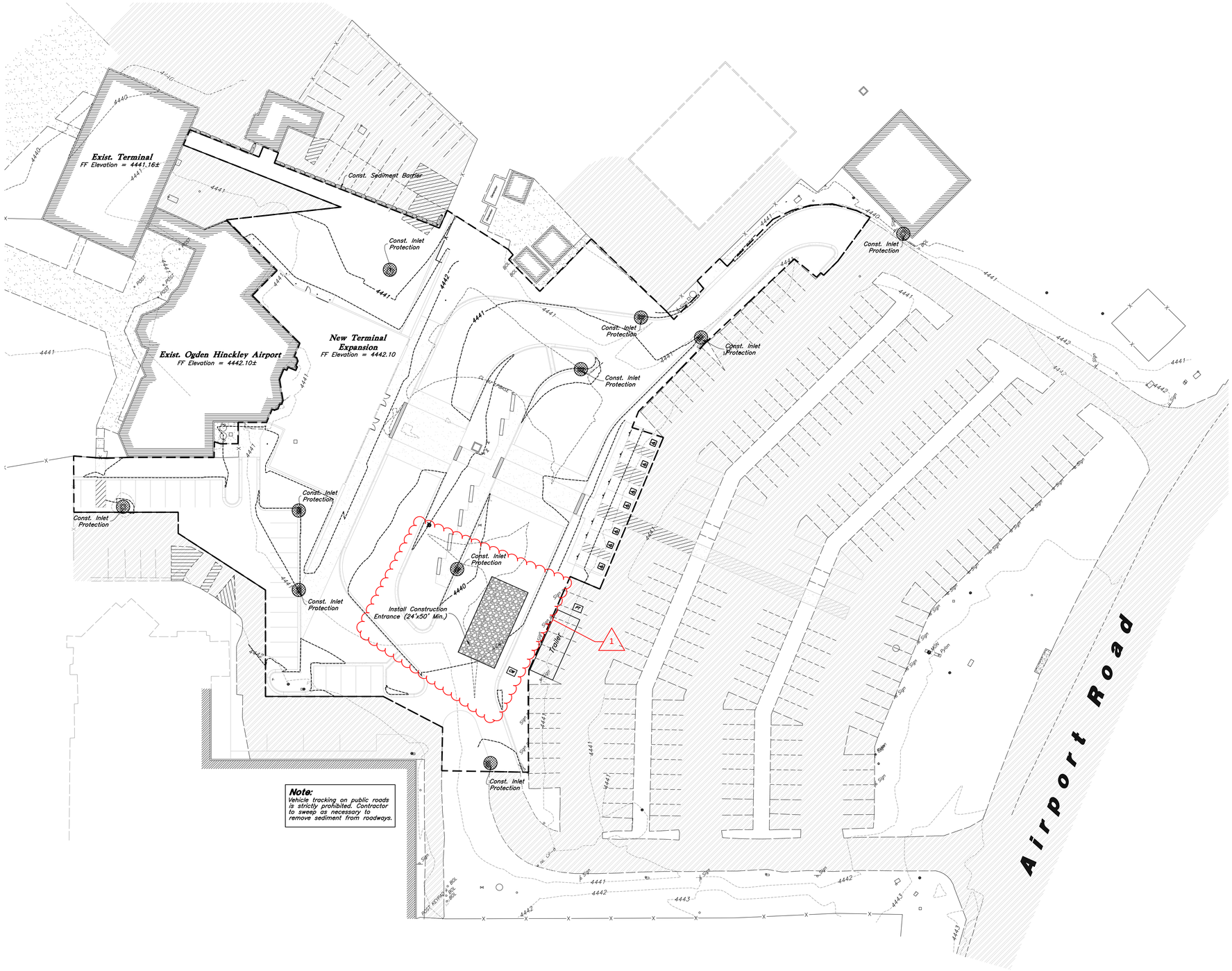
Ogden Airport Front Terminal Addition

3909 Airport Road
Ogden, Utah

PROFESSIONAL ENGINEER
No. 7879288
SHAUN S. TOONE
7/10/24
STATE OF UTAH
REGISTERED

3 Jul, 2024

SHEET NO.
C3.1



Scale: 1" = 30'

30' 0 30' 60'

Erosion Control Notes

1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
3. All Construction equipment will enter thru Designated Construction Entrances.
4. Coordinate Entrance locations with the local jurisdiction.
5. Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
6. Silt Fences shall be Repaired to their Original Conditions if Damaged, Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
7. The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
8. All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
11. Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Divert storm water runoff around disturbed soils with berms or dirt swales.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area (CW)
- Portable Toilet (PT)
- Gravel Sock
- Existing Contour
- Existing Spot (78.00TA)
- Proposed Contour

Limits of Disturbance = 1.681 Acres

REV	DATE	DESCRIPTION
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Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates
22-074 EC

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Ogden Airport Front Terminal Addition

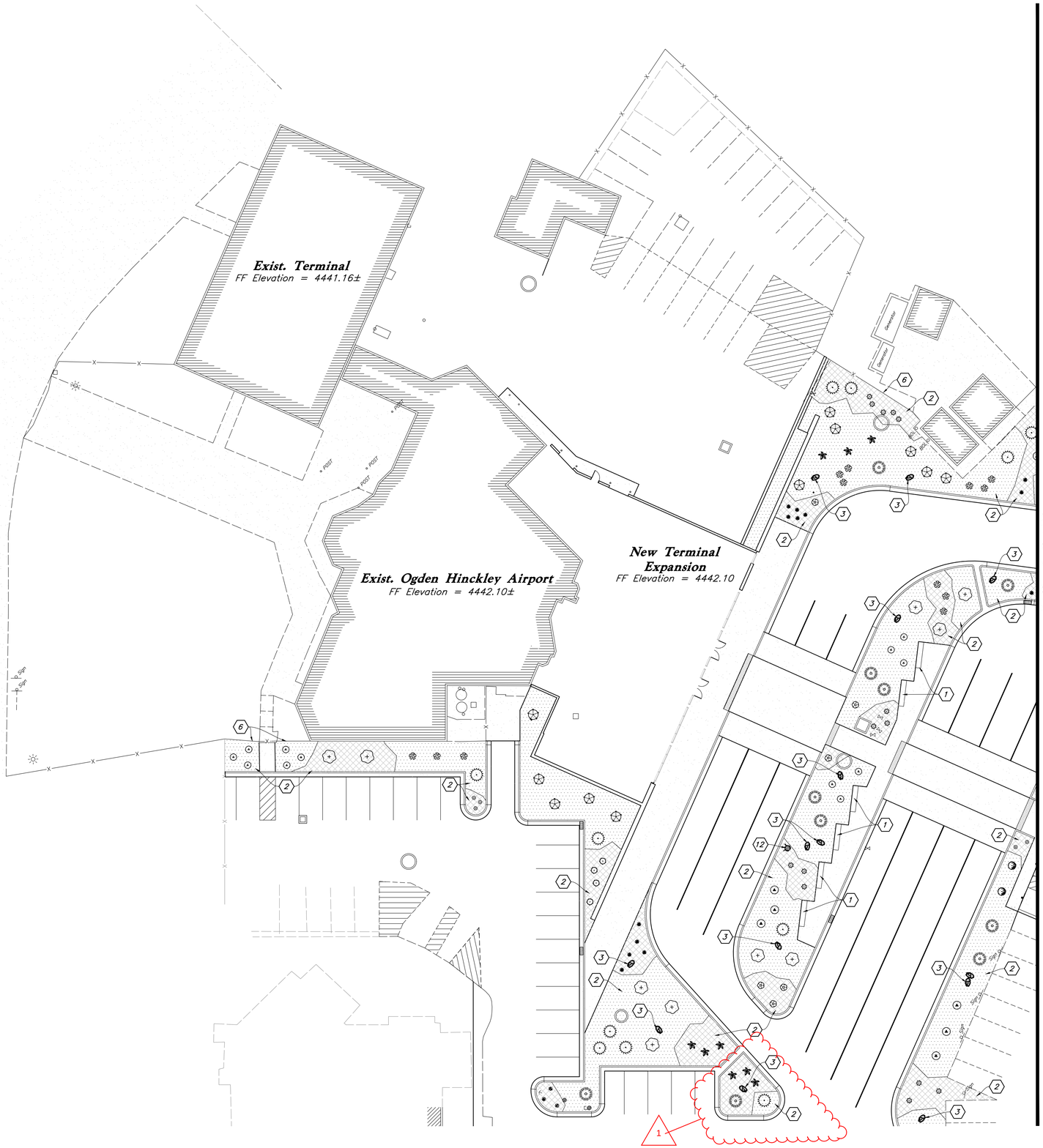
3909 Airport Road
Ogden, Utah

Erosion Control Plan

LICENSED PROFESSIONAL ENGINEER
No. 7879288
SHAUN W. TOONG
7/10/24
STATE OF UTAH

3 Jul, 2024

SHEET NO.
C5.1



Landscape Keynotes

1. Decorative Bench – See Arch. Plans
2. Install Decorative Stone #1 or #2 Over Commercial Grade Weed Barrier; See Material Schedule for More Detail
3. Install Landscape Boulder
4. Existing Irrigation Backflow Preventer to Remain
5. Existing Stone Shall Remain and be Protected; Remove all Existing Weeds, Trash, and Dead Plants; Add Decorative Stone to Cover Weed Barrier Where Needed
6. Existing Fence
7. Repair and Add New Decorative Stone #2
8. Existing Irrigation Water Meter to Remain
9. Existing Lawn to Remain and be Protected
10. Patch-up Lawn Against New Site Improvements
11. Install Landscape Concrete Curbing Between Existing Lawn and New Shrub Planter
12. New Fire Hydrant – See Utility Plan
13. Existing Karl Forester Grass Shall Remain and Shall Screen Mechanical Equipment
14. Existing Area to Remain Native; No Construction Activities Shall Take Place in this Area

Landscape Data

New/Modified Landscape = 19,057 s.f.

Scale: 1" = 20'

20' 0 20' 40'

Landscape Notes:

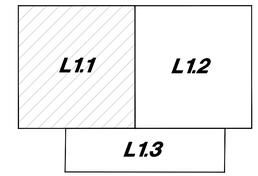
1. All New and Existing Landscape Shall be Watered by an Automatic Irrigation System. Point Source Drip Shall be Used to Irrigate New and Existing Shrub Areas. Existing Irrigation Shall be Reviewed and Modified as Needed to Work with New Irrigation Improvements. See Sheet L2.1–L2.3 for Layout.
2. All Areas that Are Disturbed by Construction that is Not Building and Hardscape Shall be Landscaped. Contact Landscape Architect with Areas in Question. New Landscape Shall Blend into Existing. Repair Damaged Landscape Areas Due to Construction.
3. Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
4. Different Stone Types and Sizes Shall Not be Separated by Edging but Shall Have a Defined Distinct Edge.
5. Remove all Unused Landscape and Irrigation Material From Site.
6. New Trees Have not Been Incorporated into the Landscape to Prevent Birds From Frequenting the Area and Creating a Potential Safety Concern with Planes.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
SHRUBS			
	4	Cornus sericea 'Kelseyi' / Kelseyi Dogwood	5 gal
	7	Forsythia x 'Gold Tides' / Golden Tide Forsythia	5 gal
	13	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
	16	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal
	14	Pinus mugo 'Pumilio' / Dwarf Mugo Pine	5 gal
	25	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	5 gal
	11	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal
	13	Rosa x 'Meigalpio' / Red Drift Rose	5 gal
	2	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal
ORNAMENTAL GRASSES			
	30	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5 gal
	6	Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass	5 gal
PERENNIALS			
	24	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal
	19	Perovskia atriplicifolia 'Blue Jean Baby' / Blue Jean Baby Russian Sage	5 gal
	10	Salvia x superba 'May Night' / May Night Salvia	1 gal

MATERIAL SCHEDULE

	Decorative Stone #1 – Install a Five (5) Inch Depth over Dewitt Pro5 Weed Barrier (Commercial Grade); Stone Shall be Used in Specified Shrub Areas and Washed Prior to Installation; Stone Shall be 2–4" Diameter, Tan Colored, Cobble Stone and Match Existing Used in Parking Islands; Remove all Soil From Weed Barrier Prior to Laying Stone; Carefully Install Around Plant Material, Hand Place as Needed	Detail: 2/L1.3
	Decorative Stone #2 – Install an Three (3) Inch Depth over Dewitt Pro5 Weed Barrier (Commercial Grade); Stone Shall Cover Weed Barrier; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 1 1/2" Diameter Wasatch Gray Stone From Staker Parsons	Detail: 2/L1.3
	Landscape Boulders – Boulders Shall be 2–3' in Diameter, Fractured and Match Proposed Stone; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper or Door	Detail: 3/L1.3
	4" x 6" Landscape Concrete Curbing – Install Flush to all Concrete Edges Between Existing Lawn and New Shrub Areas. Curbing Shall be Continuous; Modify Curbing Alignment as Needed to Avoid Existing and New Utilities and Irrigation Boxes	Detail: 4/L1.3



Key Map

811 Know what's below. Call before you dig.

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Designed by: SY
Drafted by: KF
Client Name:
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22-074 LS

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

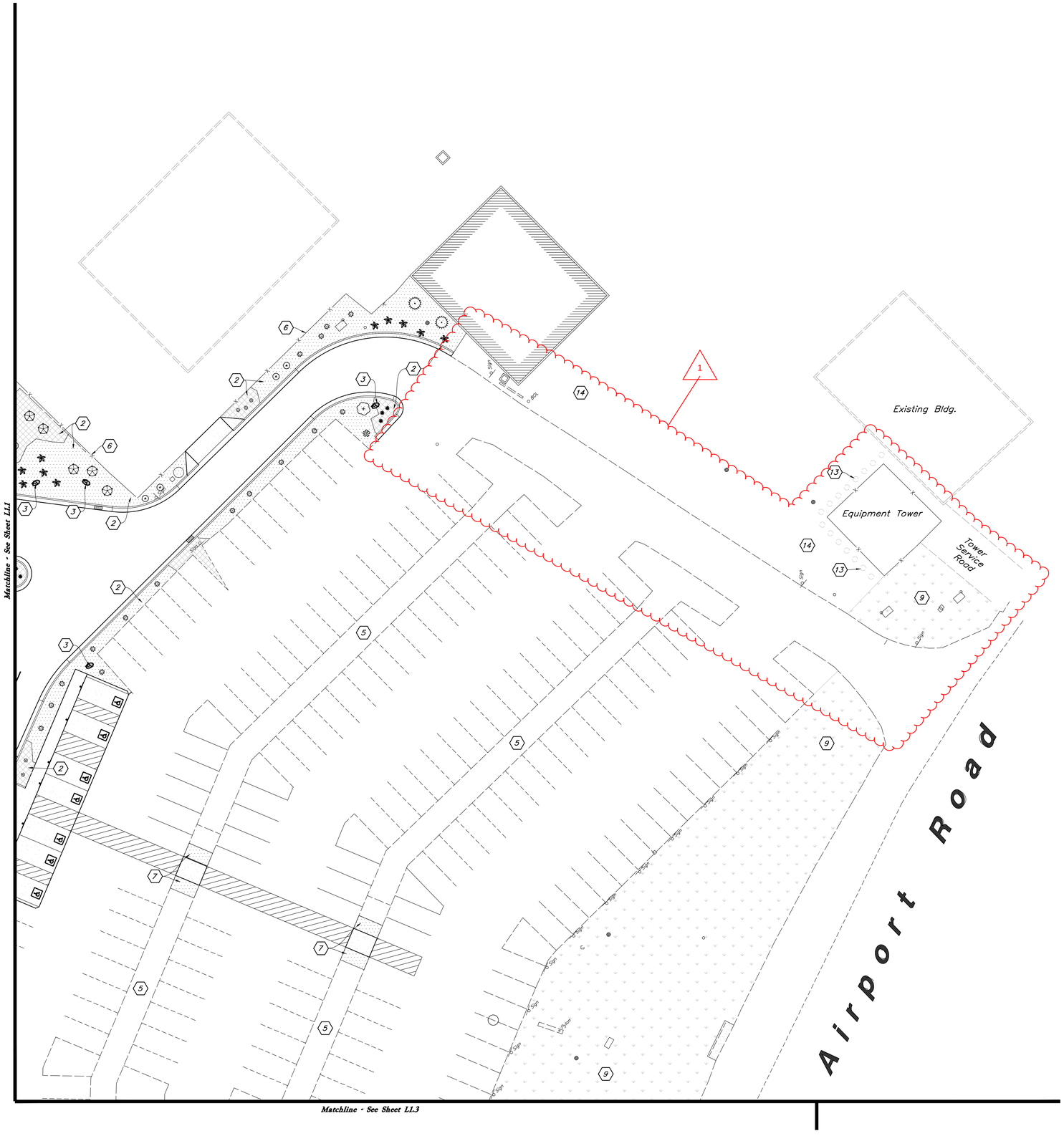
Landscape Plan

Ogden Airport Front Terminal Addition
3909 Airport Road
Ogden, Utah

State of Utah
Jared R. Manscill
No. 7740429-5301
Licensed Landscape Architect
07/10/2024

3 Jul, 2024

SHEET NO.
L1.1



Landscape Keynotes

1. Decorative Bench – See Arch. Plans
2. Install Decorative Stone #1 or #2 Over Commercial Grade Weed Barrier; See Material Schedule for More Detail
3. Install Landscape Boulder
4. Existing Irrigation Backflow Preventer to Remain
5. Existing Stone Shall Remain and be Protected; Remove all Existing Weeds, Trash, and Dead Plants; Add Decorative Stone to Cover Weed Barrier Where Needed
6. Existing Fence
7. Repair and Add New Decorative Stone #2
8. Existing Irrigation Water Meter to Remain
9. Existing Lawn to Remain and be Protected
10. Patch-up Lawn Against New Site Improvements
11. Install Landscape Concrete Curbing Between Existing Lawn and New Shrub Planter
12. New Fire Hydrant – See Utility Plan
13. Existing Karl Forester Grass Shall Remain and Shall Screen Mechanical Equipment
14. Existing Area to Remain Native; No Construction Activities Shall Take Place in this Area

Scale: 1" = 20'

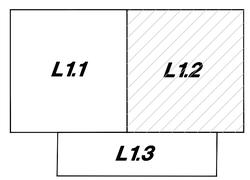
20' 0 20' 40'

Landscape Notes:

1. All New and Existing Landscape Shall be Watered by an Automatic Irrigation System. Point Source Drip Shall be Used to Irrigate New and Existing Shrub Areas. Existing Irrigation Shall be Reviewed and Modified as Needed to Work with New Irrigation Improvements. See Sheet L2.1–L2.3 for Layout.
2. All Areas that Are Disturbed by Construction that is Not Building and Hardscape Shall be Landscaped. Contact Landscape Architect with Areas in Question. New Landscape Shall Blend into Existing. Repair Damaged Landscape Areas Due to Construction.
3. Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
4. Different Stone Types and Sizes Shall Not be Separated by Edging but Shall Have a Defined Distinct Edge.
5. Remove all Unused Landscape and Irrigation Material From Site.
6. New Trees Have not Been Incorporated into the Landscape to Prevent Birds From Frequenting the Area and Creating a Potential Safety Concern with Planes.

General Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stake before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants
13. The contractor shall install all landscape material per plan, notes and details.
14. Plant names are abbreviated on the drawings, see plant lschedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Existing topsoil to be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on existing and imported topsoil and amend per soil test recommendations. Soil test to be done by certified soil testing agency. Topsoil to be installed in all landscaping areas.
17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
18. Provide an 8" depth of existing and/or imported topsoil in all other shrub areas. Provide a 4" depth in lawn areas.
19. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
20. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
21. All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over (Commercial Grade) Dewitt Pro5 Weed Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. Overlap weed barrier six (6) inches at seams. Triangular spacing shall be used for staking every five (5) feet.
23. Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance.



Key Map

811 Know what's below. Call before you dig.

REV	DATE	DESCRIPTION
1	9 Jul 2024	Addendum #1 – Front Access Changes

Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates
22-074 LS

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Landscape Plan

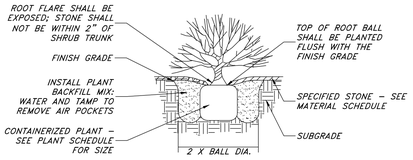
Ogden Airport Front Terminal Addition

3909 Airport Road
Ogden, Utah

State of Utah
Jared R. Manscill
No. 7740426-5301
Licensed Landscape Architect
07/10/2024

3 Jul, 2024

SHEET NO.
L1.2



NOTE:

1. SEE GENERAL LANDSCAPE NOTES FOR PLANT BACKFILL MIX COMPOSITION.
2. REMOVE ALL NURSERY TAGS AND STAKES AFTER PLANTING.

1 SHRUB PLANTING

NOT TO SCALE

Landscape Keynotes

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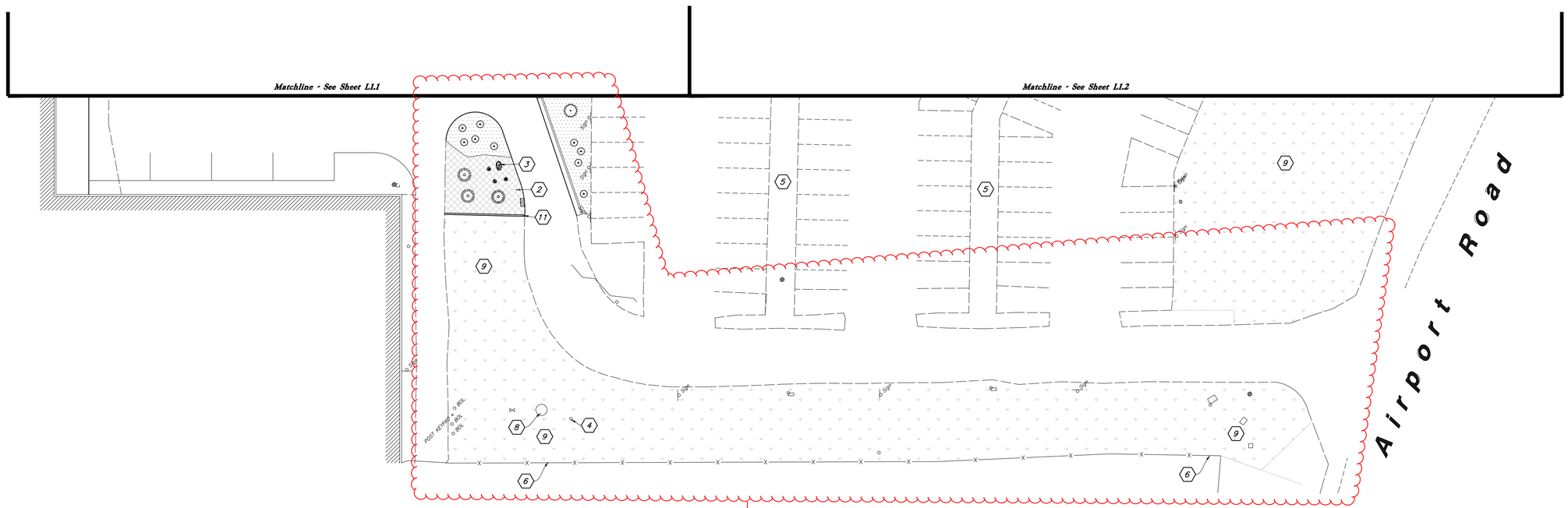
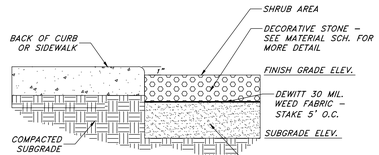
Scale: 1" = 20'

20' 0 20' 40'



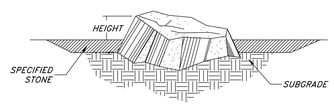


NOTE:

1. NO EDGING SHALL BE USED BETWEEN DIFFERENT TYPES OF STONE. PROVIDE A DEFINE DISTINCT EDGE BETWEEN THE TWO TYPES OF STONES.

2 LANDSCAPE PREPARATION

NOT TO SCALE

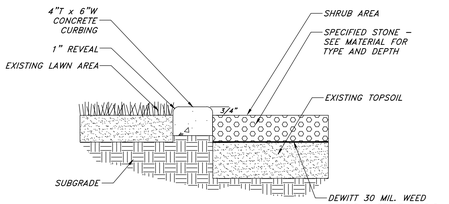


NOTE:

1. USE CARE TO MINIMIZE MARRING AND SCRATCHING
2. SLIGHTLY BURY BOULDER INTO SOIL AT A TWO INCH DEPTH, KEEPING BEST VISUAL SIDE ABOVE GROUND.

3 LANDSCAPE BOULDER

NOT TO SCALE



NOTE:

1. SMOOTH GRADE ENTIRE AREA PRIOR TO PLACEMENT OF CURBING AND SPECIFIED STONE.
2. CONTROL JOINTS SHALL BE PLACED AT 3' O.C.

4 LANDSCAPE CONCRETE CURBING

NOT TO SCALE

L1.1	L1.2
L1.3	

Key Map

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Landscape Plan

Ogden Airport Front Terminal Addition

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Ogden, Utah

State of Utah – Licensed Landscape Architect
Jared R. Manscill
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07/10/2024

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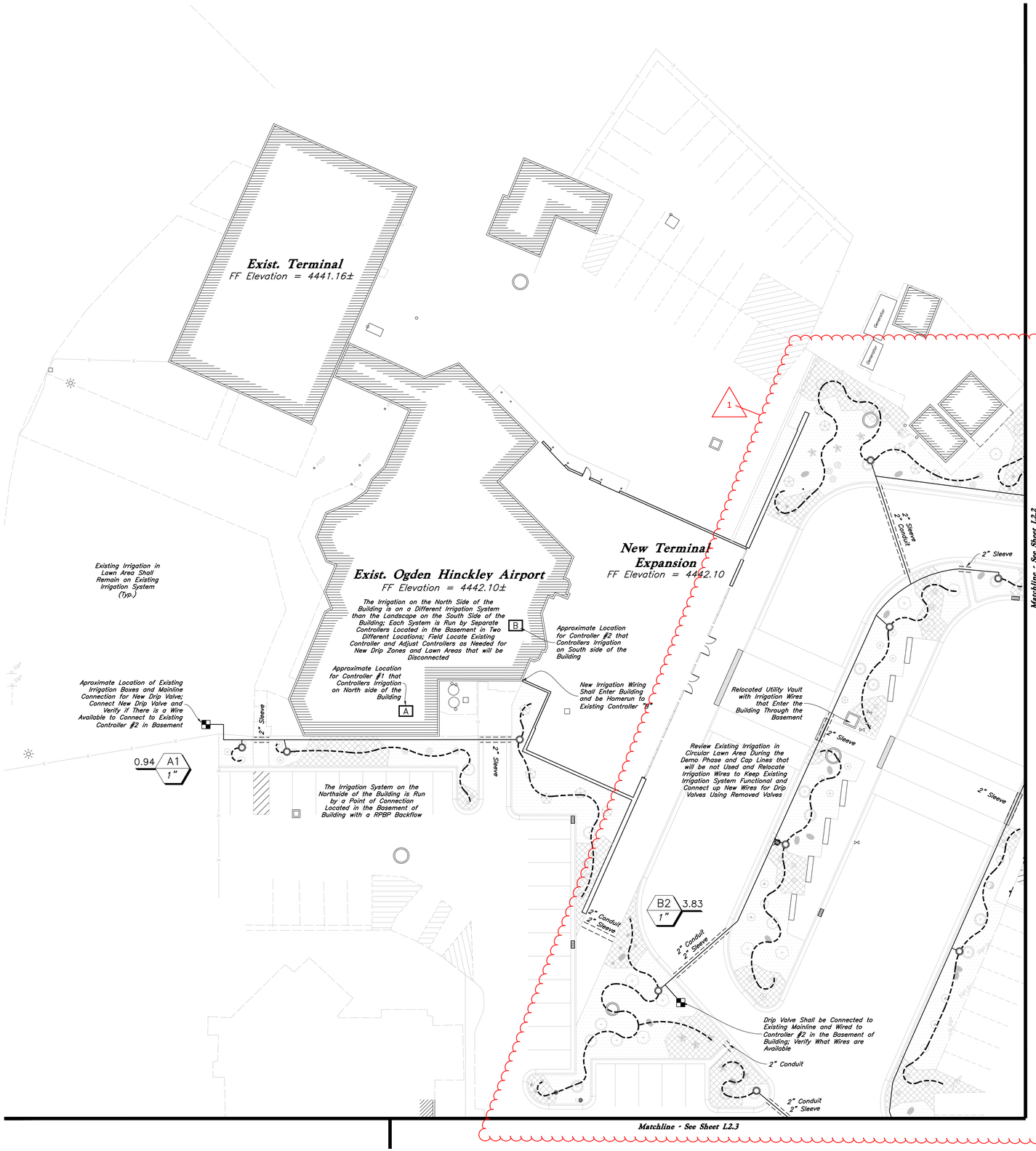
SHEET NO.
L1.3



Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Scale: 1" = 20'

20' 0 20' 40'

Irrigation Notes

1. See Sheet L1.1–L1.3 for Plant Layout and Details.
2. See Sheet L2.2 and L2.3 for Irrigation Details.
3. The Two Existing Irrigation Systems Shall Remain and be Modified to Keep Systems Functional During All Stages of Construction to Keep Existing Lawn Alive. Retrofit Systems for New Drip Valves and Utilize Existing Wires.

IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird XCZ–100–PRB–COM	Drip Control Zone Kit	1 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	3/L2.3
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	4/L2.3
	Rain Bird XBS–940	3/4" Distribution Tubing – Pipe shown on Plan is Schematic; Adjust Location as Needed		
	Rain Bird XQ–100	1/4" Distribution Tubing – Install one per Emitter		
	Rain Bird XB–10PC	Xeri–Bug Emitter (1 Gal/Hr.) – 1(1) per Perennial & Orn. Grass, 2(1) per Shrub		1/L2.2
	Rain Bird TS025	Tie Down Stake – Tubing to be Staked every 3'		5/L2.3
	Rain Bird DBC–025	Diffuser Bug Cap – Install one per Emitter		
	Rain Bird MDCFCAP	Removable Flush Cap – Install at the End of Each Line		
Existing P.O.Cs				
		Existing Irrigation P.O.C. Shall Remain and Stay Functional; Each System had a RPBP Backflow; The System on the North P.O.C. is Located in Basement of Building and the Irrigation Connection on the South Side of the Building is Located in the Lawn Area on the West Side of the Site		
Pipes				
	Schedule 40 PVC	Mainline Pipe	Match Existing Line Size; Control Wiring Shall be Tucked Under Mainline for Protection; Schedule 80 Fittings Shall be Used for Mainline Components	6/L2.3
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Inch; Minimum Pipe Size Shall be 1 Inch for PVC Pipe	6/L2.3
Controller				
A		Existing Controller Located in Basement of Building that Irrigates North Side of Building; Controller Shall be Adjusted for New Valves and Valves that Need to be Eliminated		
B		Existing Controller Located in Basement of Building that Irrigates South Side of Building; Controller Shall be Adjusted for New Valves and Valves that Need to be Eliminated		
Sleeving				
= = =	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals, and Controller Wire Located under Concrete and Asphalt Paving at specified depths	Contractor shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving is by the Landscape Contractor unless otherwise noted.	2/L2.3

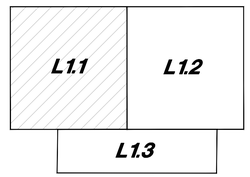
Valve Callout: # (Valve Number), # (Valve Flow), #" (Valve Size)

VALVE SCHEDULE - North Side Irrigation System

VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PRECIP RATE
A1	1"	Area for Drip Emitters	0.94	37.0	0.54 in/h

VALVE SCHEDULE - South Side Irrigation System

VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PRECIP RATE
B1	1"	Area for Drip Emitters	2.56	37.3	0.63 in/h
B2	1"	Area for Drip Emitters	3.83	37.6	0.42 in/h



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L2.1

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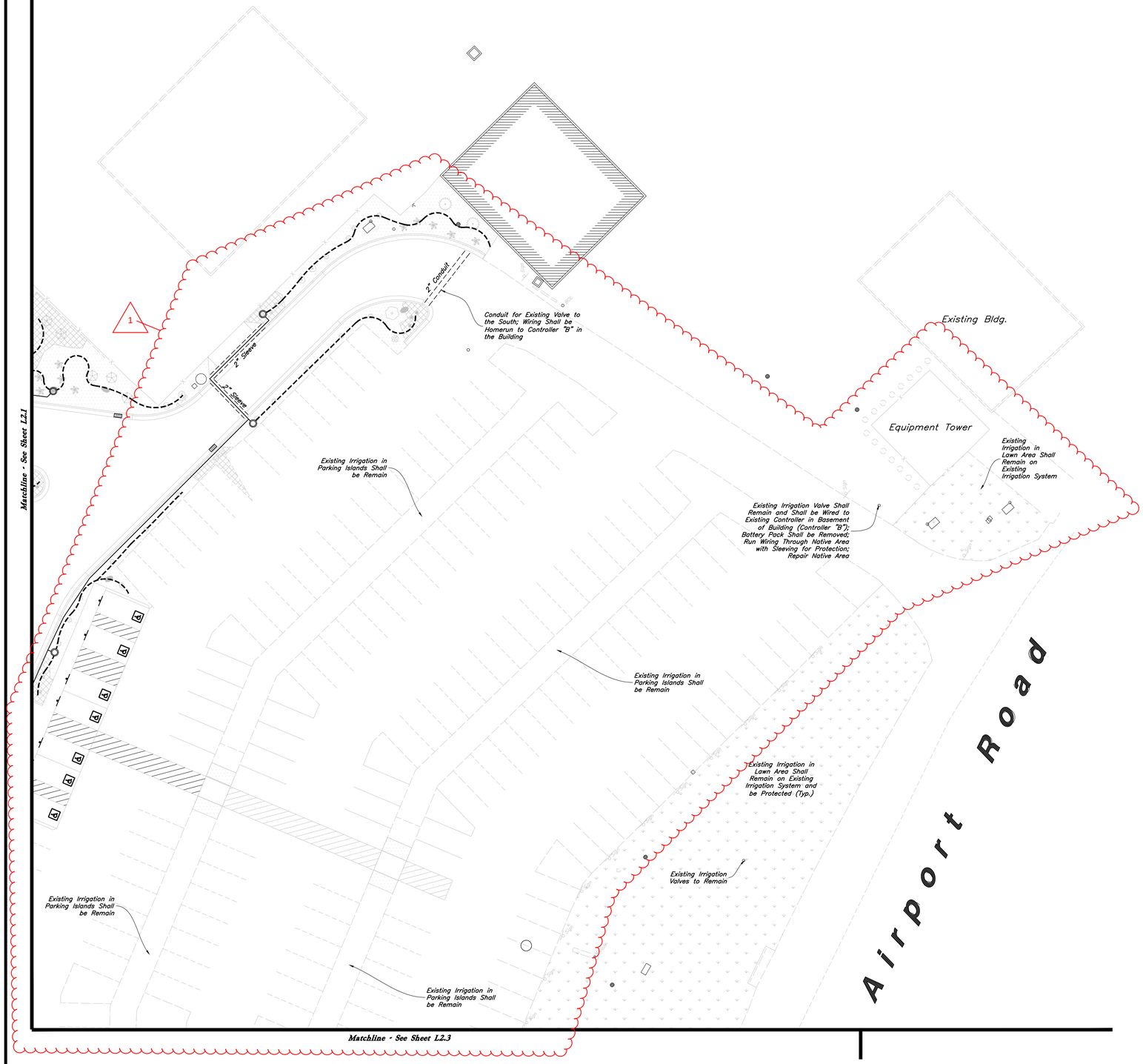


Irrigation Notes

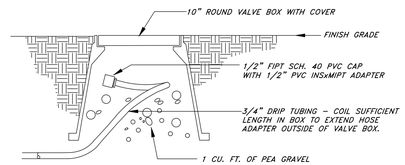
1. See Sheet L1.1–L1.3 for Plant Layout and Details.
2. See Sheet L2.2 and L2.3 for Irrigation Details.
3. The Two Existing Irrigation Systems Shall Remain and be Modified to Keep Systems Functional During All Stages of Construction to Keep Existing Lawn Alive. Retrofit Systems for New Drip Valves and Utilize Existing Wires.

Scale: 1" = 20'

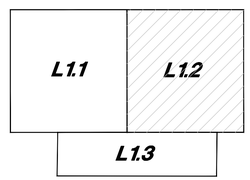
20' 0 20' 40'

General Irrigation Notes:

1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufactures requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
13. Install dielectric fittings whenever dissimilar metals are joined.
14. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
15. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
16. Control valve wire shall be #14 single conductor: white for common wire, red for hot wire. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
17. Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes to be Carson Brooks.
18. Quick couplers shall be a Rain Bird 44RC with a one inch Lasco unitized swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
19. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
20. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
21. Plans are diagrammatic and approximate due to scale. where possible, all piping is to be installed within the planting areas. No tees, ells, or changes in direction shall occur under hardscape.
22. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
23. Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each shrub area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
24. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
25. Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
26. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
27. Upon completion and approval of irrigation system, irrigation contractor to provide the owner with two sets of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.



1 **COMPRESSION FLUSH CAP**
NOT TO SCALE



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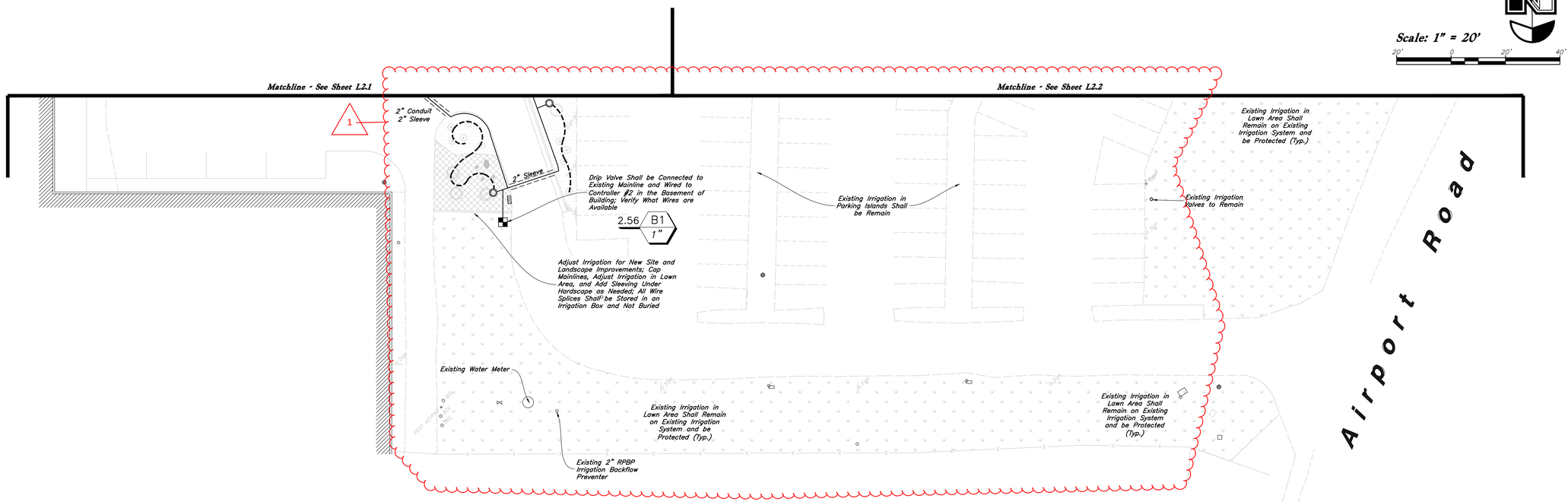
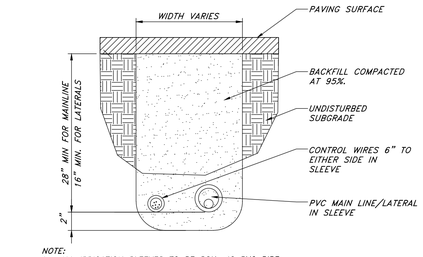
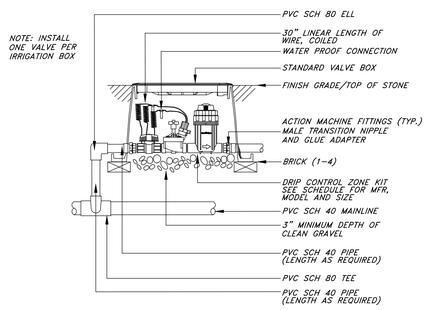




NOTE:
1. ALL IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
2. ALL SLEEVES SHALL BE TWICE THE NOMINAL SIZE OF THE PIPE WITHIN.
3. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
4. SLEEVE TO BE RUN UNDER PAVEMENT AND EXTEND A MIN. OF 18" PAST EDGE OF PAVEMENT. END OF SLEEVE TO BE CAPPED AND MARKED.

2 PIPE SLEEVING
NOT TO SCALE

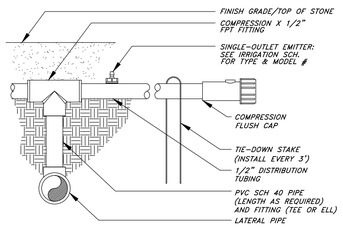


3 DRIP CONTROL VALVE
NOT TO SCALE

Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

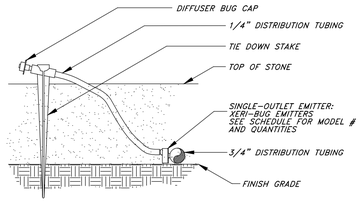
Irrigation Notes

1. See Sheet L1.1–L1.3 for Plant Layout and Details.
2. See Sheet L2.2 and L2.3 for Irrigation Details.
3. The Two Existing Irrigation Systems Shall Remain and be Modified to Keep Systems Functional During All Stages of Construction to Keep Existing Lawn Alive. Retrofit Systems for New Drip Valves and Utilize Existing Wires.



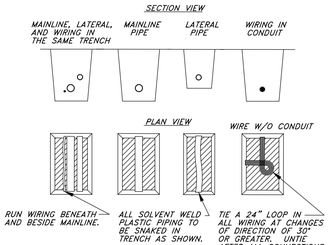
NOTE:
1. USE RAIN BIRD XERIMAN TOOL MODEL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 1/2" DISTRIBUTION TUBING.

4 PVC TO POLY PIPE CONNECTION
NOT TO SCALE



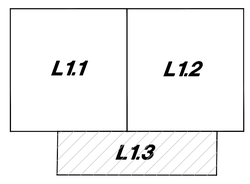
NOTE:
1. USE RAIN BIRD XERIMAN TOOL MODEL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 3/4" DISTRIBUTION TUBING.
2. INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. EMITTERS ARE TO BE INSTALLED TO CLEAR SURFACE BY A MIN. OF 1" AND AND A MAX. OF 2". FLUSH ALL INES THOROUGHLY, INCLUDING 1/4" DISTRIBUTION TUBING PRIOR TO EMITTER INSTALLATION. IF PLANTING IN A 4:1 SLOPE OR GREATER, INSTALL BOTH EMITTERS ON UPHILL SIDE OF ROOTBALL.

5 EMITTER INTO DISTRIBUTION TUBE
NOT TO SCALE



NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH. 40 PVC PIPE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS SEE IRRIGATION NOTES.

6 PIPE & WIRE TRENCHING
NOT TO SCALE



Key Map

811 Know what's below. Call before you dig.

RCV	DATE	DESCRIPTION
1	9 Jul. 2024	Addendum #1 - Front Access Changes

Designed by: SY
Drafted by: KF
Client Name:
Sanders Architects & Associates
22-074 IR

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Irrigation Plan

Ogden Airport Front Terminal Addition
3909 Airport Road
Ogden, Utah

State of Utah — Jared R. Manscill — No. 7740426-5301 — Licensed Landscape Architect — 07/10/2024

3 Jul, 2024

SHEET NO. **L2.3**