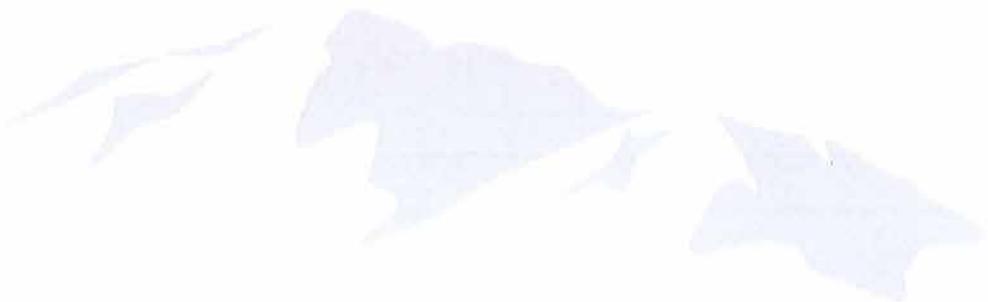




**OGDEN CITY CORPORATION  
INVITATION TO BID  
2329 Quincy Avenue - REHAB**



Prepared by Sean Mathis  
Ogden City Community Development  
1/02/2024

**OGDEN CITY CORPORATION**  
**INVITATION TO BID**  
**2329 Quincy Avenue - REHAB**

Ogden City is accepting sealed bids from Contractors interested **in the rehab construction of a single-family residence located at 2329 Quincy Avenue, Ogden, Utah.** All work must meet current industry standards and all federal, state and local rules and regulations.

Bid information packets may be downloaded from the Ogden City Website located <https://www.ogdencity.com/264/Purchasing>.

Bidders are responsible for securing any and all addenda issued.

Licensed contractors submitting bids must be able to comply with insurance and bonding requirements and have experience with underground wet and dry utility installation and removal and replacement of Street Pavement.

In view of the fact this project is funded in part with federal monies provided in this contract, each prospective contractor shall comply with the bid requirements set forth in Executive Order 11625 and Section 3 of the Housing and Urban Development Act of 1968. In addition to the aforementioned bid requirements, the contractor awarded the bid, and each subcontractor and lower tier contractor thereafter shall be subject to the following federal contract provisions:

Form HUD-4010, Federal Labor Standards Provisions.

- Davis Bacon Act (40 U.S.C. 276 a-a7)
- Contract Work Hours and Safety Standards Act (40 U.S.C. 327-330)
- Copeland Anti-Kick-Back Act (18 U.S.C. 847 and 40 U.S.C. 276c)
- Executive Orders 11246 (Equal Employment Opportunity) and 11625, and Section 3 of the Housing and Urban Development Act of 1968 regarding employment, training and

contracting opportunities (12 U.S.C. 1701u). The work to be performed under this bid specification / contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3 shall, to the greatest extent feasible, be directed to low- and very-low-income persons, particularly persons who are recipients of HUD assistance for Housing.

A pre-bid meeting will be held **Tuesday January 16, 2024, at 9:00 am. We will meet at 2329 Quincy Avenue, Ogden, UT.** Please allow at least one (1) hour for the pre-bid meeting. All contractors intending to submit a bid are **ENCOURAGED** to attend to obtain relevant information concerning the project.

Sealed bids shall be submitted to the Purchasing Office, c/o the 1<sup>st</sup> Floor Information Desk, 2549 Washington Blvd., Ogden, UT by **Tuesday, January 30, 2024, no later than 1 PM.** At which time, bids will be opened and read aloud at the 7th Floor Conference room of the same address. **LATE BIDS WILL NOT BE ACCEPTED.**

The City reserves the right to accept or reject any bids that best serve its convenience and/or is found to be in the best interest of the City.

Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

**OGDEN CITY CORPORATION**  
**INVITATION TO BID**  
**2329 Quincy Avenue- REHAB**

**I. SCOPE OF WORK**

Contractor will be responsible for furnishing and installing the equipment, facilities, services, and appurtenances thereto as included in the Contract Documents. The work generally includes, but is not limited to, the following: the rehab construction of a single-family residence located at 2329 Quincy Avenue, Ogden, Utah.

Contractor will be responsible for:

- Review of construction or specification documents prior to submitting a bid.
- Attend the pre-bid meeting to obtain relevant information (ENCOURAGED).
- Competitively bidding required work, negotiating, and contracting with subcontractors to accomplish the work, as applicable.
- Completing the Project on time and within budget per the plans and specifications.

THE ATTACHED DOCUMENTS ARE COPYRIGHT PROTECTED AND ARE THE PROPERTY OF OGDEN CITY AND MAY NOT BE REPRODUCED FOR ANY OTHER PROJECT UNLESS WRITTEN AUTHORIZATION IS OBTAINED.

**PROJECT MANAGER: Sean Mathis**

**Ogden City Community Development**

**Desk: 801-629-8935**

## **II. BID CONTENT**

Ogden City will accept bids from contractors that are capable of providing all of the work described in the drawings and specifications. Applicants shall include qualifications for work set forth in the Scope of Work for which it proposes to provide services. Each bid must include, at a minimum, the following information:

1. Exhibit B – BID FORM
2. Bid Security

## **III. BID REVIEW AND ASSESSMENT**

Bids will be reviewed based on the requirements indicated in Section II. Ogden City Corporation shall have the right to verify the accuracy of all information submitted and to make such investigation, as it deems necessary to determine the ability of a prospective Contractor to perform the obligations in the response. Ogden City reserves the right to reject any response where the available evidence or information does not satisfy Ogden City that the prospective Contractor is qualified to carry out properly the obligations of the response, is a person or firm of good reputation or character for strict, complete, and faithful performance of business obligations, or if the prospective Contractor refuses to cooperate with and assist Ogden City in the making of such investigation.

Section 3 Clause

## **IV. SECTION 3**

All Section 3 covered contracts shall include the following clause (referred to as the Section 3 Clause):

A. The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3). The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD assisted

projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

B. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 135, which implement Section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations.

C. The contractor agrees to send to each labor organization or representative or workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this Section 3 clause and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

D. The contractor agrees to include this Section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

E. The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

F. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

(Added section) G. With respect to work performed in connection with Section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent

feasible (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprises. Parties to this contract that are subject to the provisions of Section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

## **V. INSURANCE REQUIREMENTS**

The awarded Contractor shall procure and maintain for the duration of the contract the required insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of this agreement. The Contractor shall pay the cost of such insurance.

- a. The amount of insurance shall not be less than:
  - i) Commercial General Liability: Minimum of \$3,000,000 in general aggregate with \$1,000,000 for each occurrence. Policy to include coverage for operations, contractual liability, personal injury liability, products/completed operations liability, broad-form property damage (if applicable) and independent contractor's liability (if applicable) written on an occurrence form.
  - ii) Business Automobile Liability: \$1,000,000 combined single limit per occurrence for bodily injury and property damage for owned, non-owned and hired autos.
  - iii) Workers' Compensation and Employer's Liability: Worker's Compensation limits as required by the Labor Code of the State of Utah and employer's liability with limits of \$1,000,000 per accident.

- b. Each insurance policy required by this Agreement shall contain the following clauses:

- i) "This insurance shall not be suspended, voided, canceled, reduced in coverage or in limits except after thirty days prior written notice by certified mail, return receipt requested, has been given to the Ogden City Corporation".

- ii) "It is agreed that any insurance or self-insurance maintained by Ogden City Corporation, its elected or appointed officials, employees, agents and volunteers shall be excess of Contractor's insurance and shall not contribute with insurance provided by this policy."
- c. Each insurance policy required by this Agreement, excepting policies for Workers' Compensation, shall contain the following clause in a separate endorsement:
  - i. "Ogden City Corporation, its elected and appointed officials, employees, volunteers and agents are to be named as additional insureds in respect to operations and activities of or on behalf of, the named insured as performed under Agreement with Ogden City Corporation."
- d. Insurance is to be placed with insurers acceptable to and approved by Ogden City Corporation. Contractor's insurer must be authorized to do business in Utah at the time the license is executed and throughout the time period the license is maintained, unless otherwise agreed to in writing by Ogden City Corporation. Failure to maintain or renew coverage or to provide evidence of renewal will be treated as a material breach of contract.
- e. City shall be furnished with original certificates of insurance and endorsements effecting coverage required within, signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements are to be received by the city before work begins on the premises.
- f. City reserves the right to require complete, certified copies of all required insurance policies at any time.
- g. Any deductibles or self-insured retentions must be declared to and approved by the City. At the option of the City, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respect to the City, their elected and

appointed officials, employees, agents, and volunteers; or Contractor shall provide a financial guarantee satisfactory to the City guaranteeing payment of losses and related investigations, claim administration and defense expenses.

h. Contractor shall include all its contractors as insured under its policies or shall furnish separate certificates and endorsements for each contractor. All coverages for Contractor's contractors shall be subject to all the requirements stated herein.

i. Nothing contained herein shall be construed as limiting in any way the extent to which Contractor may be held responsible for payments of damages to persons or property resulting from the activities of Contractor or its agents, employees, invitees, or contractors upon the Premises during the License Period.

Contractor's Obligation to Verify Employment Status: Contractor shall register and participate in the Status Verification System and comply with Utah Code Ann. Section 63G-11-103 of the Utah Identity Document and Verification Act.

## **VI. BONDING REQUIREMENTS**

Submission of a Bid constitutes a promise that the Bidder will enter the Contract Documents in the form presented in the Contract Documents. Bidders should carefully examine all Contract Documents, including the required Bonds and insurance to be provided by the Bidder.

### **A. BID SECURITY**

a) Amount of Bid Security: A Bid Security must accompany each Bid. The total amount of the Bid on which Bid security is to be based shall be the sum of all items of the Bid constituting the maximum amount of the possible award to the Bidder. The Bond amount must equal at least five (5) percent of the total amount of the Bid. The Bid Security may be in the form of a Cashier's check or Bid Bond. No other form of Bid Security will be accepted.

- b) Bid Bond: The Bond shall accompany and be attached to the Bid and shall be issued by a surety company authorized to do business in the State of Utah. The Bond shall guarantee that the Bidder, if awarded the work, will promptly enter into the Construction Contract to perform the work in the manner required by the Contract Documents.
- c) Cashier's Check: If a cashier's check is used in lieu of a Bid Bond, the cashier's check must be drawn on a bank doing business in the State of Utah and made payable to Ogden City Corporation. Note that personal or company checks are not acceptable as bid security. If a cashier's check is used in lieu of a Bid Bond or if the Bid Bond does not specifically so provide, a certificate from an approved surety company guaranteeing execution of performance and payment bonds in the full amount of the bid must accompany the bid.
- d) Return of Bid Security: Owner will return Bid security to Contractor within seven (7) days after receipt of the Construction Contract by Ogden City Purchasing Division. Bid Bonds and cashier's checks of the lowest three Bidders will be held until the Construction Contract is awarded and a signed copy received by Ogden City Purchasing Division, or all bids have been rejected. All other bid securities shall be returned following the bid opening. The liability of Owner in regard to the checks shall be limited only to the return of the checks.
- e) Default: In the event of failure or refusal of the Bidder to enter into the Construction Contract and the delivery to the Owner a Performance Bond, Payment Bond and any other Bonds or documents required by the Contract Documents after Notice of Intent to Award by the Owner, the Bidder forfeits the sum of the Bid Bond or cashier's check as liquidated damages to the Owner.

## **B. CONTRACT SECURITY – PAYMENT, PERFORMANCE, AND OTHER BONDS**

- a) Prior to OWNER executing the Agreement, CONTRACTOR shall file with the OWNER a good and sufficient performance Bond and a payment Bond, each in the sum of not less than 100 percent of the Contract Price.

- b) The Bonds shall be executed by the CONTRACTOR and secured by a company duly and regularly authorized to do a general surety business in the State of Utah and named in the current list of Companies holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies as published in current Circular 570 (amended) by the Audit Staff Bureau of Accounts, U.S. Treasury Department, with an underwriting limitation equal to or greater than the Contract Price which the Bond guarantees or with a current "A-" rating or better in A.M. Best Co., Inc.'s, Best Insurance Reports, Property and Casualty Edition.
- c) Said Bonds shall guarantee the faithful performance of the Construction Contract by the CONTRACTOR and payment of labor and materials. They shall inure by their terms to the benefit of the OWNER. Neither this nor any other provision requiring a performance Bond shall be construed to create any rights in any third-party Claimant as against the OWNER for performance of the Work under the Construction Contract.
- d) If the surety on any Bond furnished by CONTRACTOR is subject to any proceeding under the Bankruptcy Code (Title 11, United States Code) or becomes insolvent or its right to do business is terminated in the State of Utah or it ceases to meet the requirements of this Article, CONTRACTOR shall, within 15 days thereafter, substitute another Bond and surety, both of which must be acceptable to OWNER.

## **VII. GENERAL TERMS AND CONDITIONS**

- a) Qualified respondents shall be Licensed Contractors in the State of Utah, for this type of work, and who meet Ogden City's insurance and bonding requirements, and have experience with all work defined in the scope of work.
- b) For projects that are security-sensitive in nature, Ogden City reserves the right to conduct a criminal background check of each person who will be providing services in response to this Invitation to Bid. If requested, Contractor shall submit a BCI Criminal History Report dated within 30 days of response to RFP for each

employee who will be on-site, that shows "Criminal History Verified" and has Arrest History attachments. Employees who have any convictions on their BCI record may be subject to further review and approval by Ogden City. Ogden City may reject any response to this RFP that involves services from a person or entity that Ogden City determines is unfit or unqualified to fulfill the requirements of this bid.

- c) All work must meet current industry standards including all Federal, State and local rules and regulations.
- d) Ogden City reserves the right to request clarification of information submitted, and to request additional information from any proposer.
- e) Ogden City will make every effort to ensure all offerors are treated fairly and equally throughout the entire advertisement, review, and selection process. The procedures established herein are designed to give all parties reasonable access to the same basic information.
- f) Cost of Developing Proposals – All costs related to the preparation of proposals and any related activities are the sole responsibility of the offeror. Ogden City assumes no liability for any costs incurred by offerors throughout the entire selection process.
- g) Proposal Ownership - Once submitted, all proposals, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror.
- h) Conflict of Interest - No member, officer, or employee of Ogden City, during his or her tenure shall have any interest, direct or indirect, in this contract or the proceeds thereof, except as permitted by Ogden City policy.
- i) Non-Collusion - Offeror guarantees the proposal is not a product of collusion with any other offeror and no effort has been made to fix the proposal price or any offeror or to fix any overhead, profit or cost estimate of any proposal price.
- j) Ogden City reserves the right to accept or reject any submittal as it best serves convenience and/or is found to be in the best interest of the City.
- k) Ogden City reserves the right to reject any irregular submission and reserves the right to waive any irregularity in submissions.

- I) Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

## **VIII. GOVERNING INSTRUCTIONS**

This ITB will constitute the governing document for submitting Bids and will take precedent over any oral representations.

## **IX. PREBID MEETING**

A pre-bid meeting will be held on **Tuesday, January 16, 2024**. We will meet at **2329 Quincy Avenue, Ogden, UT**. Please allow at least one (1) hour for the pre-bid meeting. All contractors intending to submit a bid are **ENCOURAGED** to attend to obtain relevant information concerning the project.

## **X. SUBMITTAL & BID OPENING**

**A. Submittal: January 30, 2024, no later than 1 PM**; firms shall submit two (2) copies of all documents required in one sealed envelope addressed to Ogden City's Purchasing Office.

Refer to Bid Content section for the required documents. On the envelope, indicate your firm's name and the "2329 Quincy Avenue- REHAB".

Submit Bid To:

Ogden City Corporation  
c/o 1<sup>st</sup> Floor Information Desk  
ATTN: Purchasing Office  
"2329 Quincy Avenue - REHAB"  
2549 Washington Blvd.  
Ogden, UT 84401

**LATE BIDS WILL NOT BE ACCEPTED.**

If the sealed bid is submitted by mail or other delivery service, it must be received prior to the submission deadline.

The bid may also be hand-carried to the 1st Floor Information Desk (west entrance of the Municipal Building) at the same address.

**No facsimile or email transmittals will be accepted.**

It is the sole responsibility of those responding to this Invitation to Bid to ensure that their submittal is made to the correct location and in compliance with the stated date and time. City offices are closed on holidays.

Once submitted, all bids, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror. These are considered public records unless protected within [Utah Code 63G-2-1.](#)

**B. Bid Opening:** Shortly after the deadline, bids will be opened and read aloud at the 1<sup>st</sup> Floor Conference Room located at the same address.

**XI. CONTACT INFORMATION**

For any questions related to this ITB, please contact the Ogden City Purchasing Office via email [purchasing@ogdencity.com](mailto:purchasing@ogdencity.com) or at (801) 629-8742.

The question-and-answer period ends at **3 PM on Monday, January 29, 2024.**

Please check the City's Purchasing webpage for any published Q&A or Addenda document(s) that might have already addressed your questions or concerns - [https://www.ogdencity.com/264/Purchasing.](https://www.ogdencity.com/264/Purchasing)

**Thank you for your interest in doing business with Ogden City!**

**OGDEN CITY COMMUNITY DEVELOPMENT DIVISION**  
**REHABILITATION SCOPE OF WORK**

OWNER: Ogden City Corporation  
ADDRESS: 2329 Quincy Ave

PROJECT #: HMSCD24-001  
DATE: 12/28/23

Codes: All work to be performed under this project must meet the minimum requirements of the applicable building, housing, mechanical and electrical codes, as adopted by Ogden City. Interpretations and clarifications of the codes and their applicability to this project shall be directed to the Ogden City Inspections.

HUD Housing Standards: HOME-Assisted units must meet standards in 24 CFR 5.703. Local building codes meet or exceed requirements. Refer to local and Ogden City rehab standards.

Ogden City Rehab Standards: In addition, all work to be performed by the contractor must meet The "Ogden City General Requirements of All Contractors and Subcontractors for Housing Rehabilitation Projects." Contractors questioning the intent of any item in the work write up or the General Requirements can request Ogden City Community Development Division to supply additional information in writing on such items to ensure full understanding is achieved by all parties.

Lead Hazards: If this home was built prior to 1978 it was inspected for lead hazards, or it is assumed to contain LBP. Safe work practices apply to this project. This home must pass a lead clearance test at completion. Contractor will be responsible for any costs associated with re-cleaning and re-testing to pass clearance.

BABA Act: This agreement is for services related to a project that is subject to the Build America, Buy America Act (BABAA) requirements under Title IX of the Infrastructure Investment and Jobs Act ("IIJA"), Pub. L. 177-58. Absent an approved waiver, all iron, steel, manufactured products, and construction materials used in these projects must be produced in the United States, as further outlined by the Office of Management and Budget's Memorandum M-22-11. Initial Implementation Guidance on Application of Buy America Preference in Federal Financial Assistance Programs for Infrastructure, April 18, 2022.

Contractor shall certify upon completion of project that all work and materials have complied with BABAA requirements.

### **SECTION 3**

Section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. § 1701u) and associated regulations 24 CFR Part 75. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by certain HUD financial assistance shall, to the greatest extent feasible, and consistent with existing Federal, State, and local laws and regulations, be directed to low- and very low-income persons, particularly those who are recipients of government assistance for housing, and to business concerns which provide economic opportunities to low- and very low-income persons.

Each month the contractor will provide payroll reports to Ogden City for Section 3 reporting. The contractor will also provide employment notices to Ogden City for the announcement of new hire positions to Section 3 eligible workers.

**Bids Due: January 30, 2024**

**REHABILITATION SCOPE OF WORK**

**Keybox Code: 2549**

<b>Category</b>	<b>Description</b>
1. Permits and Fees	*Contractor to obtain all required building permits and inspections from Ogden City Building Department.
2. Fencing	<ul style="list-style-type: none"> <li>Provide all materials and labor to install 6' high chain link fencing per landscape plan.</li> </ul> <p><i>*All new installed fencing must meet Ogden City ordinances.*</i></p>
3. Landscaping	<ul style="list-style-type: none"> <li>Rough and final grades must slope per site plan for surface water.</li> <li>Install landscaping per landscape plan provided by Ogden City.</li> <li>Include sprinkler irrigation system, drip system, auto timer, backflow valve and all labor to complete.</li> </ul> <p>Note: Install sod turf grass whenever it is available for purchase. When out of season, broadcast of grass seed is allowed.</p> <p><i>*All irrigation system designs, must be approved by Ogden City staff before installation.*</i></p>
4. Demo & Cleanup	<ul style="list-style-type: none"> <li>Remove all bathroom fixtures in three baths. Entire gut outs. Including the raised floors in the two upper bathrooms.</li> <li>Remove front porch roof structure.</li> <li>Support rear entry roof and remove posts and decorative woodwork.</li> <li>Remove rear entry steps.</li> <li>Remove all cables and piping on the exterior of home.</li> <li>Remove all wood windows, sashes, frames, headers, and wood sills.</li> <li>Remove fascia and fascia crown mold.</li> <li>Remove dropped ceilings in Kitchen and Dining room.</li> <li>Remove the rest of plaster from walls where big holes are located. Do not try to patch in the large holes.</li> <li>Remove all base and case trim boards.</li> <li>Remove portions of the walls for widening of openings from entry to Living room and Living to Dining Room.</li> <li>Remove paint on brick of rear addition of home.</li> <li>Remove 45-degree wall in Living room. Want to see if there is a fireplace behind it.</li> <li>Remove all layers of subflooring in Kitchen, Laundry, and bathrooms.</li> <li>Remove laminate flooring from Dining Room and any subflooring below.</li> <li>Remove wallpaper from Living Room.</li> <li>Remove sheet vinyl and subfloor from Master Closet area.</li> <li>Remove laminate and subflooring from Bedroom 1&amp;2 areas.</li> <li>Remove and remaining light fixtures, doors, and hardware.</li> </ul>
5. Structural	<ul style="list-style-type: none"> <li>Rebuild front porch roof structure, post, and decorative woodwork to match existing rear entry detail.</li> <li>Rebuild rear entry porch decorative wood and post to match existing historical design.</li> <li>Install 3.5" x 11 7/8" LVL beams and decorative columns at entry to Living room opening and Living to Dining room opening. Chase point loads to basement footings as needed.</li> <li>Remove walls as needed and reframe new walls for new Upper Floor Plan.</li> </ul>

		<ul style="list-style-type: none"> <li>Frame out new attic access in Upper Floor Hallway.</li> <li>Frame mechanical drops as needed.</li> </ul>
6.	Concrete & Masonry	<ul style="list-style-type: none"> <li>Install new concrete windowsills on all windows to replace rotted wood.</li> <li>Concrete coat over the existing front porch and steps.</li> <li>Pour new exterior concrete per site plan. Driveway, patio, sidewalks.</li> <li>Tuckpoint all missing grout in brick exterior.</li> <li>Tuckpoint all missing grout in foundation rocks.</li> <li>Replace missing bricks in various spots.</li> <li>Repair all holes in existing brick around home.</li> <li>Use brick safe solution to remove exterior paint from all brick around home. Mostly on the back addition.</li> </ul>
7.	Railings	<ul style="list-style-type: none"> <li>Install new wood railing on rear entry steps and porch. See example sheet.</li> <li>Repair interior stair banister and railing. This must look new when finished.</li> </ul>
8.	Roofing	<ul style="list-style-type: none"> <li>Install new asphalt shingle roofing on the front porch roof. Include dry in materials, flashings, and drip metals as needed.</li> <li>Contractor to check and verify with statement, that existing asphalt shingle roof and flat roof system on top has minimum 5-year life span.</li> <li>Install new 1x6 and 1x4 two step fascia system. Prime and paint all materials.</li> <li>Install new seamless rain gutter system to entire home. Include downspouts, extenders, and/ or splash blocks.</li> </ul> <p><b><i>*All dips, depressions, and structural failures must be straightened and/or repaired before new roofing system is installed. *</i></b></p>
9.	Exterior Finish	<ul style="list-style-type: none"> <li>Remove paint from exterior brick surface with old brick safe solution. Light sandblasting may be an option of last resort. Get approval prior to blasting.</li> <li>Prep, prime, caulk and paint all exterior wood surfaces with a minimum of two coats of quality exterior latex paint. <b>Do not try</b> to single coat, I want this to last a long time.</li> <li>Install new LP Smartside soffit on entire home.</li> <li>Replace chair rail mold under soffit with new.</li> </ul> <p><b><i>*Pre paint prep work on all exterior surfaces, requires the removal of all loose paint, weather rot wood replaced or filled and treated with wood hardener prior to paint.</i></b></p> <p><b><i>*Lead base paint safe work practices are required on all painting scopes of work. *All painted surfaces must receive minimum of two coats of paint applied.</i></b></p>
10.	Electrical	<ul style="list-style-type: none"> <li>Coordinate with Rocky Mountain Power to have new electrical service lateral run to home. There is currently no power to property.</li> <li>Remove any old wiring from home. This is a complete rewire and electrical upgrade to home top to bottom COMPLETE.</li> <li>Install all new outlets and lighting circuits throughout home.</li> <li>Install new 150-amp service and breaker panel.</li> <li>Install 220v circuits to oven/range, laundry room, and AC condenser.</li> <li>Install new interlinked smoke alarms and carbon detectors per code.</li> <li>Provide and install new doorbell.</li> <li>Install new lighting per specs.</li> <li>Provide two GFI protected circuits at Kitchen, one in all bathrooms, one in Laundry, two exterior outlets on home, and garage code required items.</li> <li>Provide switched outlet for disposal.</li> <li>Provide circuit and outlet for microwave.</li> <li>Electrical plan provided is for reference only on light, switch, and outlet placements. Electrician to provide and add items as needed to meet</li> </ul>

		<p>electrical inspection and code requirements.</p> <ul style="list-style-type: none"> <li>Provide and install underground power service to detached garage. Complete</li> </ul> <p><i>*All electrical upgrades to meet current building codes and be inspected.</i></p>
11.	Plumbing	<ul style="list-style-type: none"> <li>Provide and install new water service lateral from meter to interior of home. Include new water main shut off valve and PRV. There is currently no water service to home. <b>*Note: Water lateral must be a minimum of 10' away from sewer lateral. If they must crossover each other water must be installed above sewer.</b></li> <li>Provide and install new sewer lateral from street to interior of home. There is currently no sewer service to home.</li> <li>This is a COMPLETE plumbing upgrade of home. All culinary lines, all drain lines, all fixtures, all hardware.</li> <li>Install PEX or equal supply line to all fixtures.</li> <li>Install ABS drain lines as needed to all areas.</li> <li>Replace and or provide freeze less hose bibs to front and rear of home.</li> <li>Provide and install RHEEM performance Platinum 11 gpm gas tankless water heater. Model # ECOH200DVRHLN</li> <li>Provide and install Kitchen sink disposal complete Model# BADGER 5XP W/C.</li> <li>Provide and install Kohler "Riverby" Kitchen sink complete with p-trap kit. Model K-8679-5UA3-0</li> <li>Provide and install Moen "Align" single handle pulldown Kitchen faucet. Model# 7565EVBG</li> <li>Provide and install Bootz "Maui" bathtub complete. Model# 011-3340-00</li> <li>Provide and install Moen "Align" Tub Shower valve Model# T2193EPBG</li> <li>Provide and install Kohler Highline arc toilets complete. Model# K-78279-0</li> <li>Provide and install Moen "align" single handle bath faucets. Include ptrap and supply lines complete. Model# 6190BG</li> <li>Provide and install pedestal sink in half bathroom. Model# K-R5435-4-0</li> <li>Provide and install Kohler "Pennington" bathroom sink to Upper Bathroom. Model# K-R2196-4-0</li> <li>Provide and install water box at fridge and laundry areas.</li> <li>Install drip leg on all gas supplied appliances.</li> </ul> <p><i>*All plumbing to be inspected and meet existing building codes.</i></p>
12.	Mechanical	<ul style="list-style-type: none"> <li>Coordinate with Dominion Energy to have a new gas line service lateral installed from street to gas meter location. There is currently no gas service to the home.</li> <li>This is a COMPLETE upgrade to entire HVAC mechanical systems on home. Include, duct work, furnace and AC units, and programmable thermostat.</li> <li>Provide and install hard pipe dryer vent to exterior of home.</li> <li>Provide and install hard pipe exhaust fan vents to exterior of home.</li> <li>Install drip leg on all gas-supplied furnaces.</li> <li>Furnace and AC units must be American made brands and have a 95% efficiency rating.</li> <li>Copper tubing line set must be American produced copper for install.</li> </ul> <p><i>*Note: Provide a new clean furnace filter at completion of project construction.</i></p>
13.	Insulation	<ul style="list-style-type: none"> <li>Provide and install a minimum of R-49 attic insulation.</li> <li>Install r-13 batts to rim joists and basement walls where accessible.</li> </ul>
14.	Windows	<ul style="list-style-type: none"> <li>Remove all existing wood windows from home. Include wood frames, trims, sashes, complete removal.</li> <li>Install new composite windows to all existing window openings of home.</li> <li>Install new wood arch headers and frames needed to accept new composite windows.</li> </ul>

		<ul style="list-style-type: none"> <li>• Insulate and caulk all windows at installation.</li> <li>• Provide new 2" faux blinds to all windows. (White)</li> </ul> <p><b>*All ventable windows require screens be installed.</b></p>
15.	Doors	<ul style="list-style-type: none"> <li>• Provide and install new front entry door. See color specs for style model.</li> <li>• Provide and install new rear entry door. See color specs for style model.</li> <li>• Provide and install all new interior doors. See color specs for style.</li> <li>• Provide and install new door hardware, deadbolts and doorknobs.</li> <li>• Provide and install door stops to prevent wall damage.</li> </ul>
16.	Drywall, plaster	<ul style="list-style-type: none"> <li>• Repair all damaged drywall or plaster throughout home.</li> <li>• Install new ½" drywall to new framing and demo wall areas.</li> <li>• Holy smooth all new and existing wall surfaces.</li> <li>• Holy smooth all new and exiting ceiling surfaces. We need to tame down some of the existing ceiling textures.</li> </ul>
17.	Finish Carpentry	<ul style="list-style-type: none"> <li>• Install new pre-hung two panel interior doors.</li> <li>• Install new base and case to match existing historic style.</li> <li>• Install new closet shelving in all closets.</li> <li>• Repair stair rail system at entry way.</li> <li>• Install new wood windowsills on all windows.</li> </ul>
18.	Accessories	<ul style="list-style-type: none"> <li>• Provide towel bars and paper holders in bathrooms.</li> <li>• Provide shelf and rod in all closets.</li> <li>• Provide shower rod in upper floor bathroom.</li> <li>• Install ¼" plate mirrors in all bathrooms. Bid 30"X30".</li> <li>• Install door stops on or near all doorways.</li> </ul>
19.	Cabinetry & Tops	<ul style="list-style-type: none"> <li>• Provide and install new Shaker style Kitchen cabinets per cabinet layout plan. Include crown molding on upper cabinets.</li> <li>• Provide and install pulls on all cabinets. See color specs.</li> <li>• Provide and install quartz Kitchen countertop and upper bathroom countertop.</li> <li>• Provide and install Shaker style bathroom vanity cabinet. Include a white ceramic sink.</li> </ul>
20.	Paint	<ul style="list-style-type: none"> <li>• Prep and prime all interior wall and ceiling paint surfaces.</li> <li>• Paint interior walls and ceilings with quality latex paint in two tone color scheme per color specs.</li> </ul> <p><b>*Minimum of two coats of paint to all surfaces. Including doors and trims.</b></p>
21.	Floor Coverings	<ul style="list-style-type: none"> <li>• Install laminate style flooring to Entry, Kitchen, Dining, and Living Room areas per color spec sheet.</li> <li>• Install tile flooring in Laundry, Half bath, and Upper bathroom areas per color specs.</li> <li>• Install carpet and padding to stairs, all three bedrooms, and upper hallway areas per color specs.</li> </ul> <p><b>*All subfloors must be repaired to plane level and true prior to installation of any finish flooring materials</b></p>
22.	Appliances	<p>Provide and install the following appliances complete:</p> <ul style="list-style-type: none"> <li>• Whirlpool 26.8cf Refrigerator. Model# WRF757SDHV</li> <li>• Whirlpool 5.0cf Gas Range. Model# WFG525S0JV</li> <li>• Whirlpool 1.9cf over range Microwave. Model# WMH78519LV</li> <li>• Whirlpool 24 in. Dishwasher. Model# WDTA50SAKV</li> </ul>
23.	General	<ul style="list-style-type: none"> <li>• Have property inspected for termite activity at completion of demolition items.</li> <li>• Have property lead tested at conclusion of construction.</li> <li>• Professionally clean entire home for listing.</li> </ul>
24.	Tile/ Marble	<ul style="list-style-type: none"> <li>• Install Kitchen tile backsplash with Schluter style trim on edges per color specs.</li> </ul>

		<ul style="list-style-type: none"> <li>• Install marble tub/ shower surround in Upper Bathroom.</li> </ul>
25.	Garage/ Shed	<ul style="list-style-type: none"> <li>• Provide and install all materials and labor to construct one two-car detached garage complete. Refer to attached plans.</li> </ul>

**\*Contractor to verify with Ogden City staff, all product types and color schemes before ordering and installation.\***

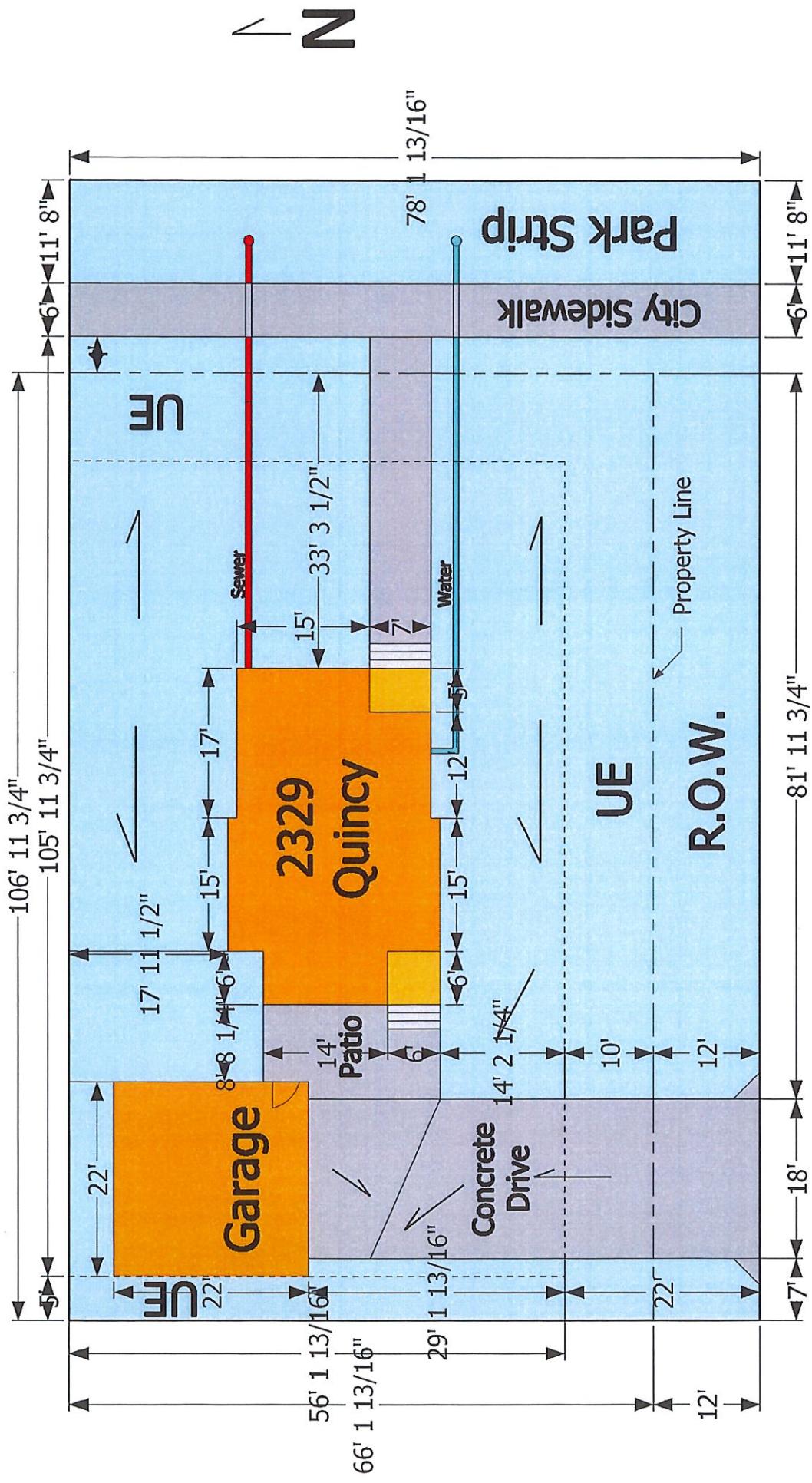
## Color Specifications

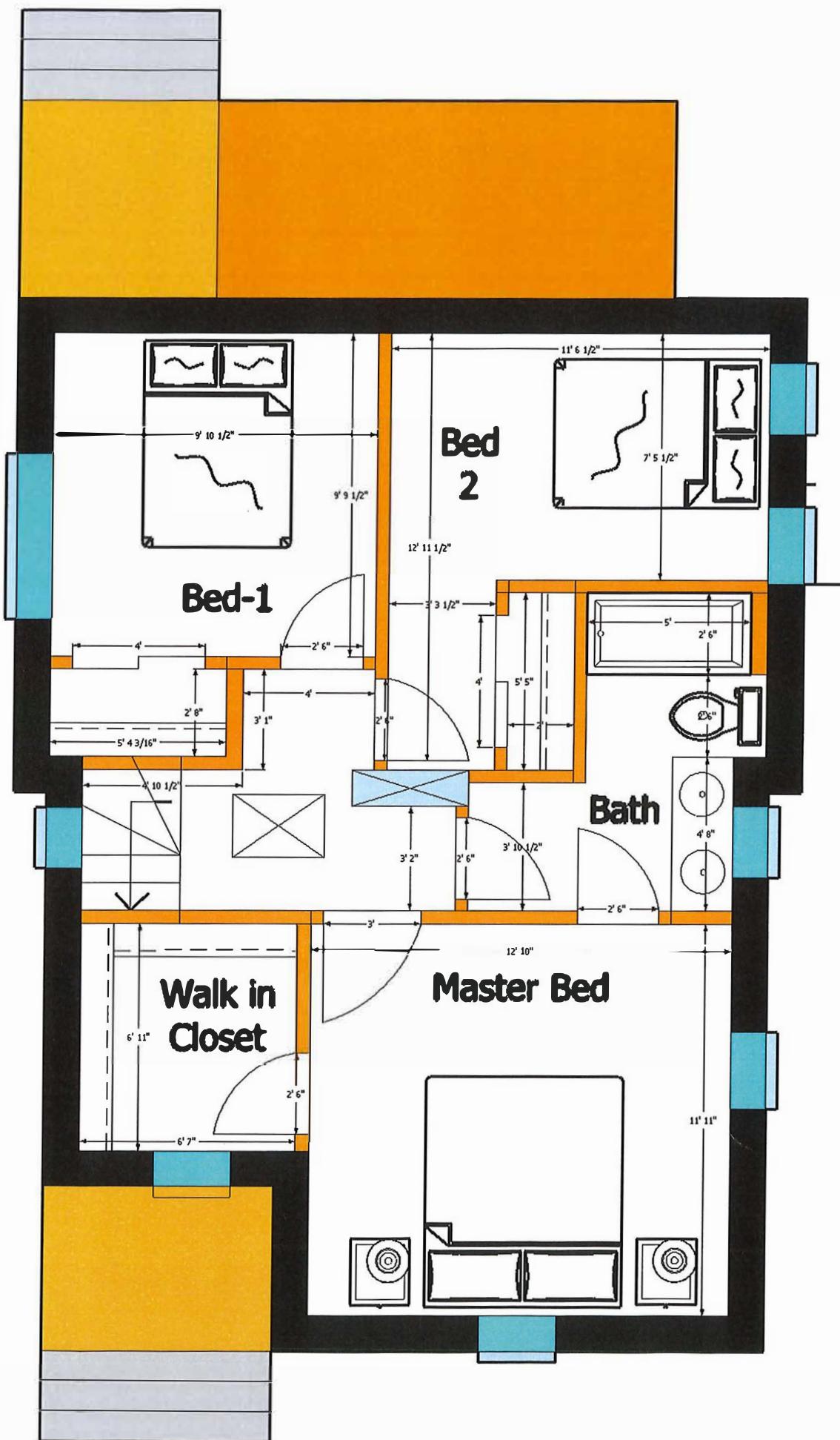
### 2329 Quincy Ave

Type	Item	Color	Description
Roofing	30 Year Architectural	NA	Use existing if inspection certifies 5-year life span
Exterior Paint	Body	NA	Clean existing brick exterior
	Gable	NA	
	Trim	Color Match	Sandstone window color
	Porch	Color Match	Sandstone window color
	Foundation	Gray	
Interior Paint	Walls	Grecian Ivory	SW7541
	Ceiling	Grecian Ivory	SW7541
	Trim	White	
	Doors	White	
Electrical	Switch/Outlet/Covers	White	
	Interior Lighting	Bronze	
	Exterior Lighting	Bronze	
Plumbing	Faucets and Trim	Gold	MOEN brand or USA made equivalent
	Bath Vanity	Distance Blue	Shaker style
	Vanity Top	Chipped Ice	Quartz
	Tub/Shower Surround	White	6"x18" Subway tile
Windows	Composite	Sandstone	Anderson 100 Series
Interior Doors	Two Panel	White	Two Panel square top panel style- Model# 2022535L
	Hardware	Bronze	Schlage- Georgian Aged Bronze- Model# F40 V GEO 716
Exterior Doors	Front	Willow Wood	Cheyenne 2-panel Right Hand Painted Smooth Fiberglass- Model # 40338
	Rear	Willow Wood	Legacy Right Hand with half life and interior blinds. Paint to match- Model # S1P00000009525
Accessories	Hardware	Bronze	Schlage- Georgian Aged Bronze- Model# FB55N V GEO 716 CAM
	Hardware	Bronze	
Bathroom Cabinets	Shaker Style	Distance Blue	SW6243
Kitchen Upper	Shaker Style	Silver Gray	SW0049
Kitchen Base	Shaker Style	Distance Blue	SW6243
Cabinet Pulls	Handle Bar	Gold	Model# 5092-128-SG-10
Kitchen Countertop	Quartz	Chipped Ice	Daltile color
Kitchen Backsplash	Tile	Chelesa	Floor and Décor- SKU: 10099945
	Grout	Frost	Mapel 5077
Floor Coverings	Carpet	Mocha Latte	Shaw- Well Timed- SKU #00595_E0916
	Laminate	Hanover Park	Floor and Décor- Aquaguard- #101021202
	Tile	Rialto Grande	Floor and Décor- #100823970
	Grout	Iron	Mapel 107
Appliances	Stove/ Micro/ DW	Black Stainless	Maytag brand or US equivalent
Fireplace		NA	
Railing/ Back Porch	Rod Iron	NA	
Front and Rear Porch Rail	Wood Framed	Color Match	Sandstone window color

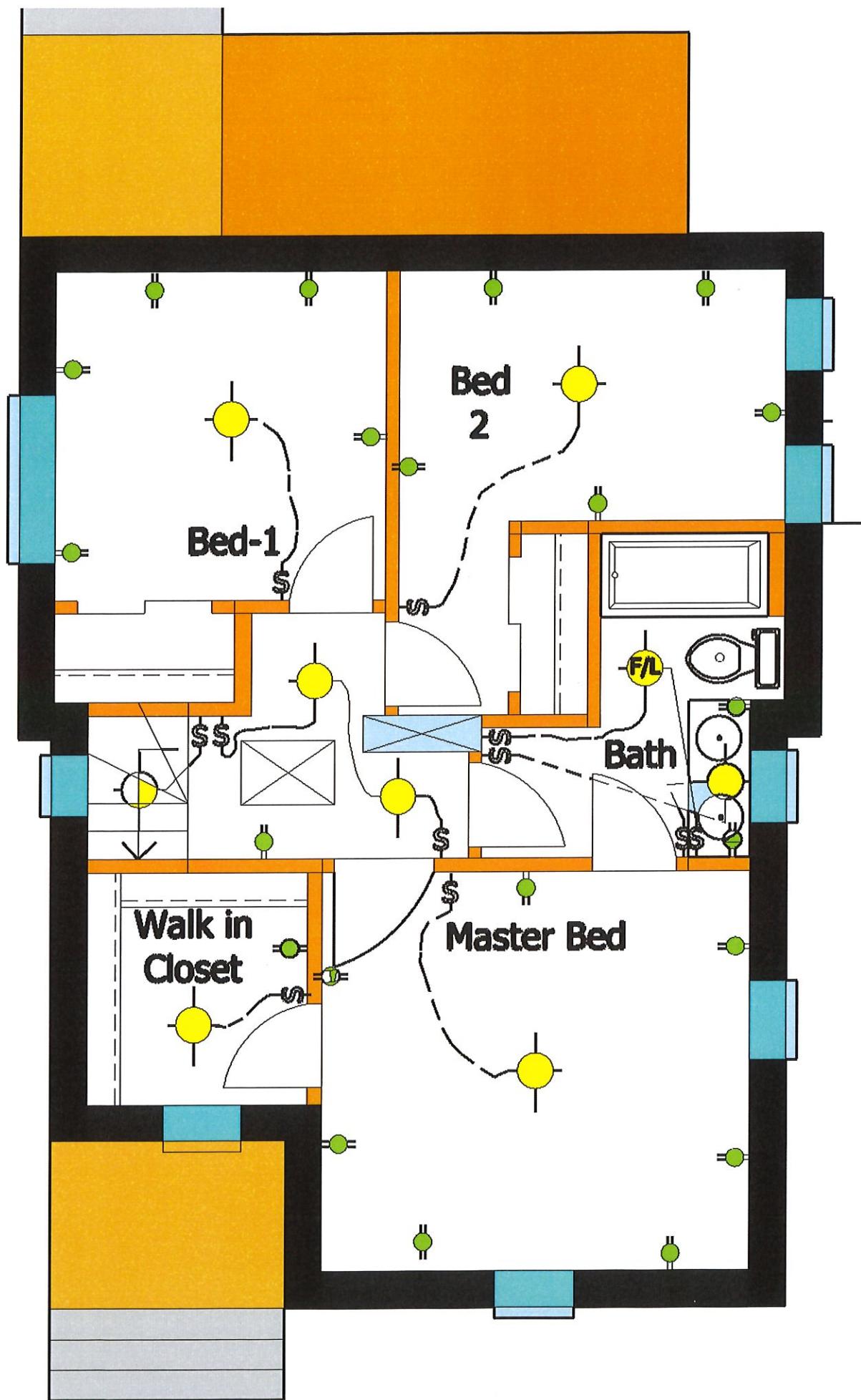
**\*Verify all colors and options with Ogden City before ordering\***

# Site Plan- 2329 Quincy

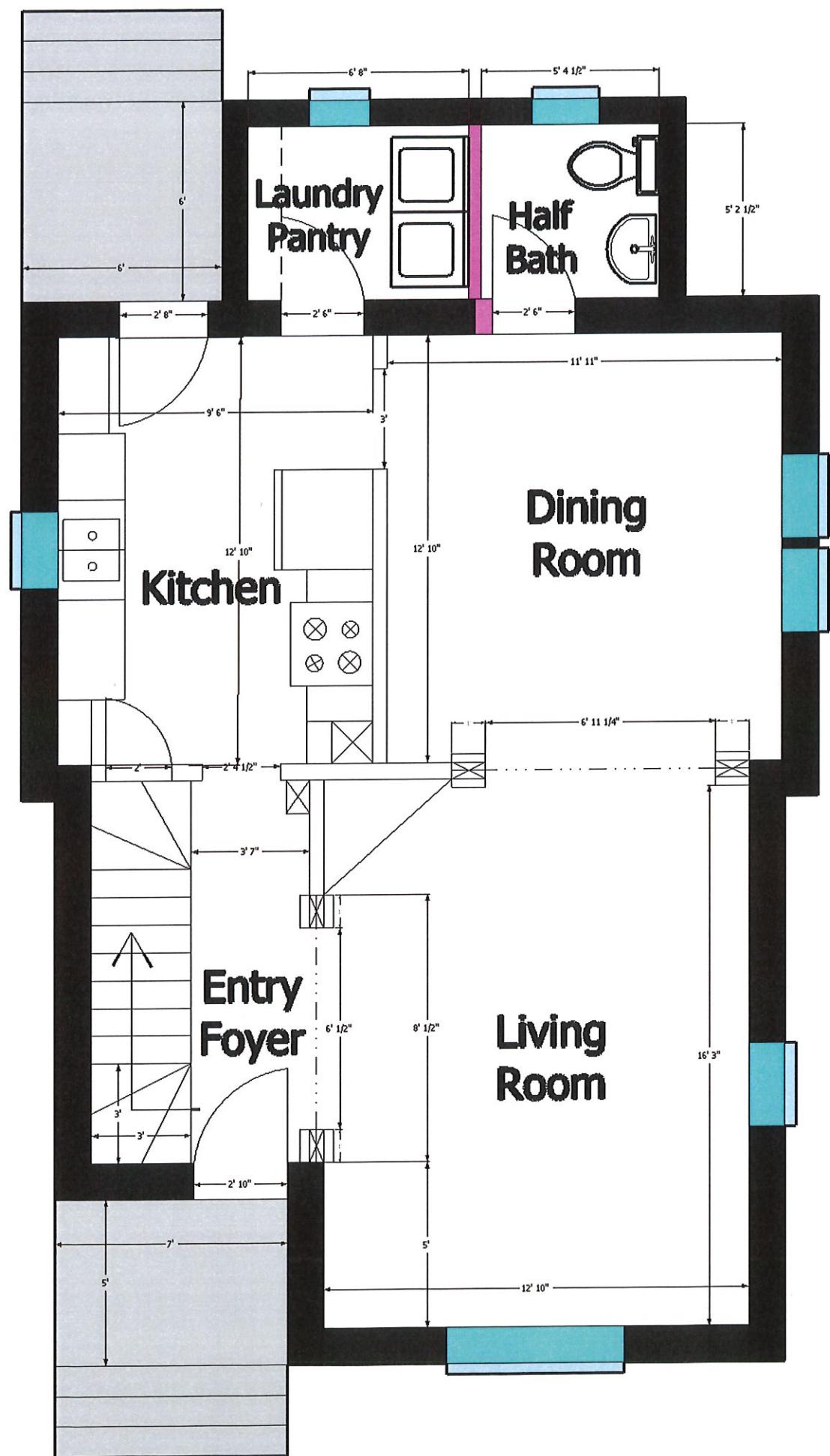




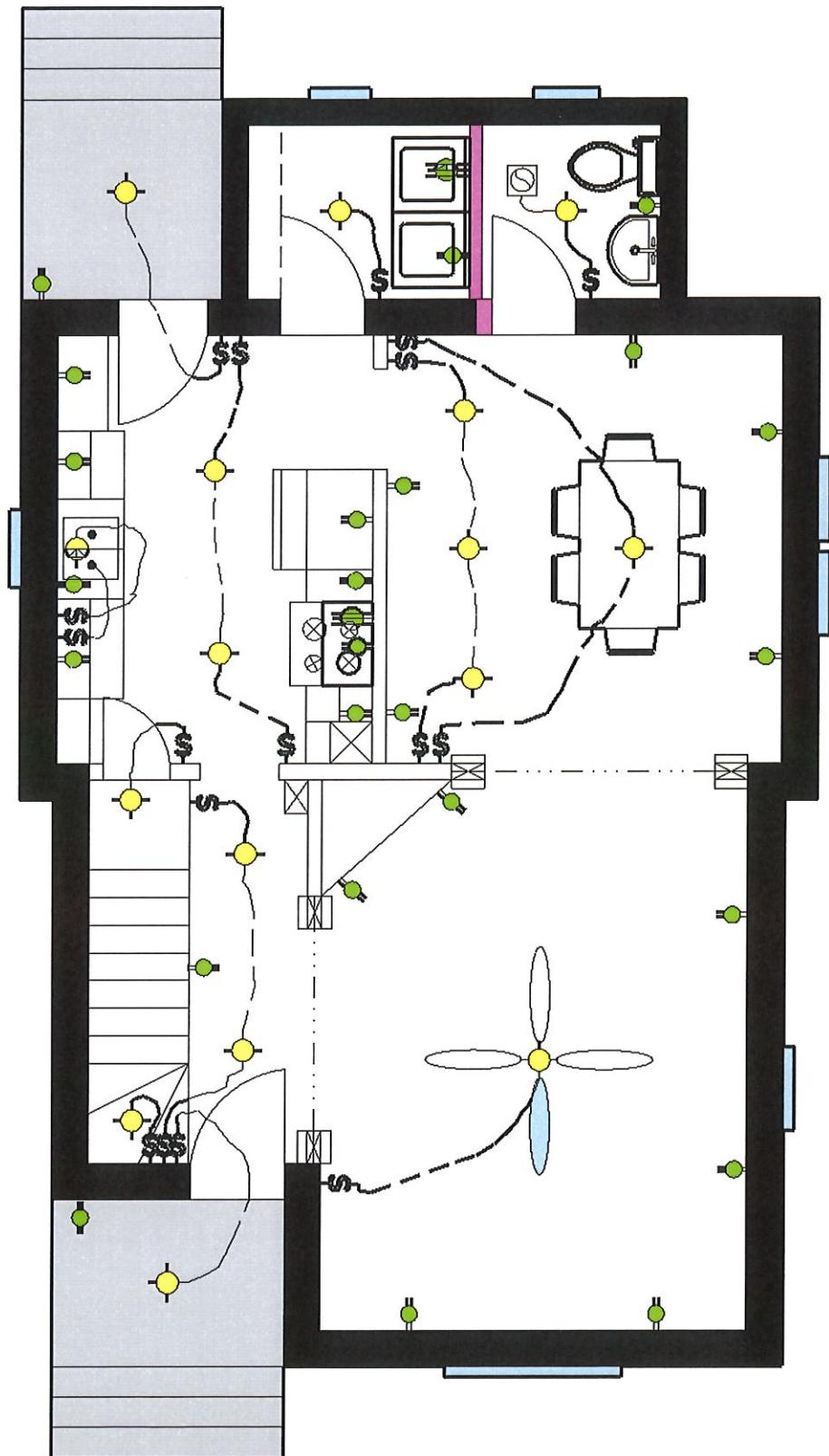
# Upper Floor Plan-2329 Quincy



Electrical Plan- Upper Floor- 2329 Quincy



**Main Floor Plan- 2329 Quincy**



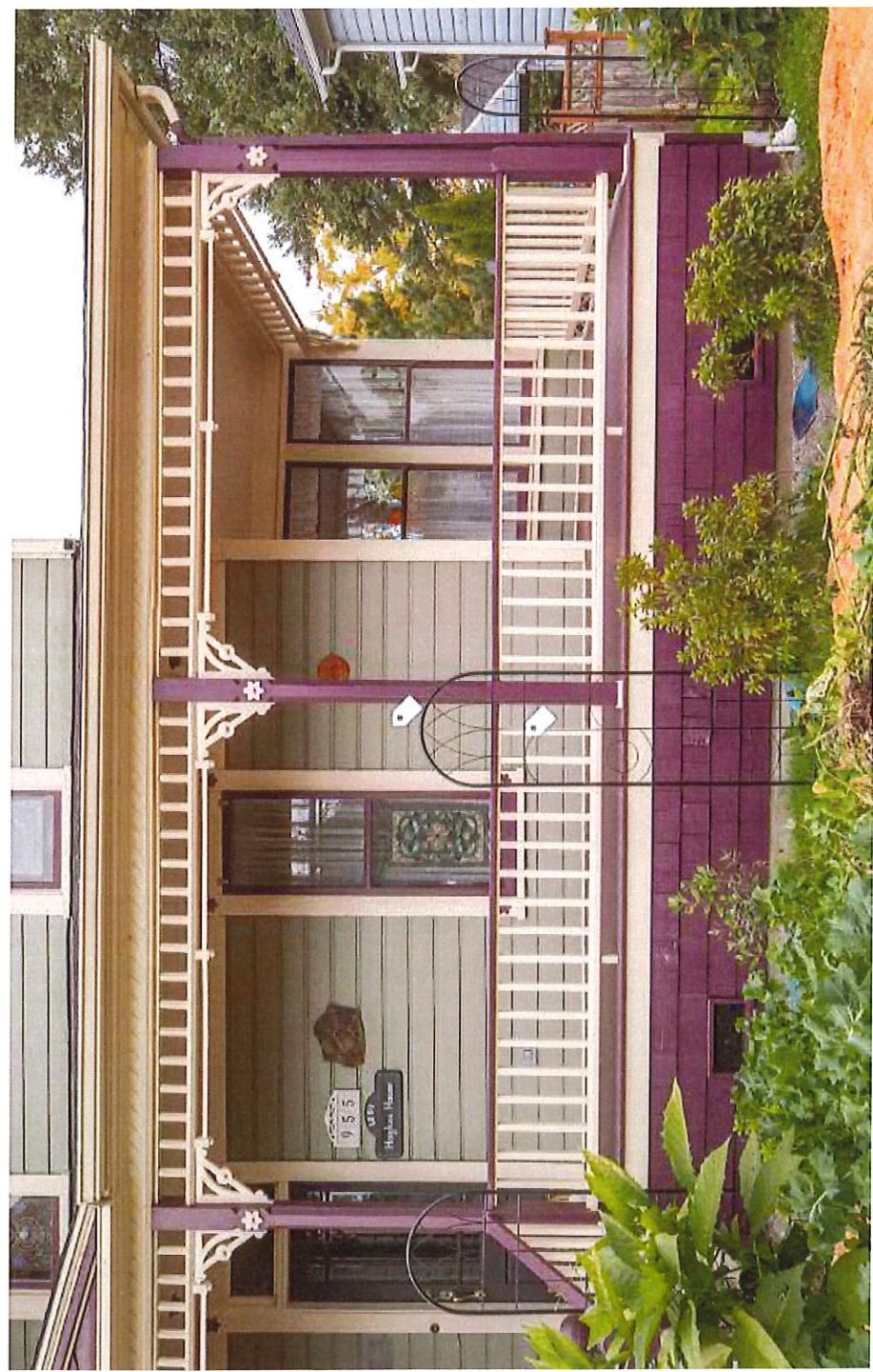
**Electrical Plan- Main Floor  
2329 Quincy**



# Kitchen Cabinet Layout



Exterior Porch Rail + Beam style





INTERIOR BANISTER STYLE

<b>HMSD PROJECT SCHEDULE OF VALUES</b>	
	Address: 2329 Quincy Ave
	Activity #: HMSD24-001
	Contractor:
	Date:

	<b>Line Items</b>	<b>Total Costs</b>	<b>Sub-Contractor Name</b>
1	Permit and Fees		
2	Fencing		
3	Landscaping		
4	Demo & Cleanup		
5	Structural-Framing		
6	Concrete & Masonry		
7	Railings		
8	Roofing		
9	Exterior Finish		
10	Electrical		
11	Plumbing		
12	Mechanical		
13	Insulation		
14	Windows		
15	Doors		
16	Drywall		
17	Finish Carpentry		
18	Accessories		
19	Cabinetry & Tops		
20	Paint		
21	Floor Coverings		
22	Appliances	2700	Allowance
23	General		
24	Tile/Marble		
25	Garage		
	<b>Subtotal</b>		
	<b>Contingency (6%)</b>		
	<b>Contractor's Fee (15%)</b>		
	<b>Total</b>		

Contractor's Signature

Date