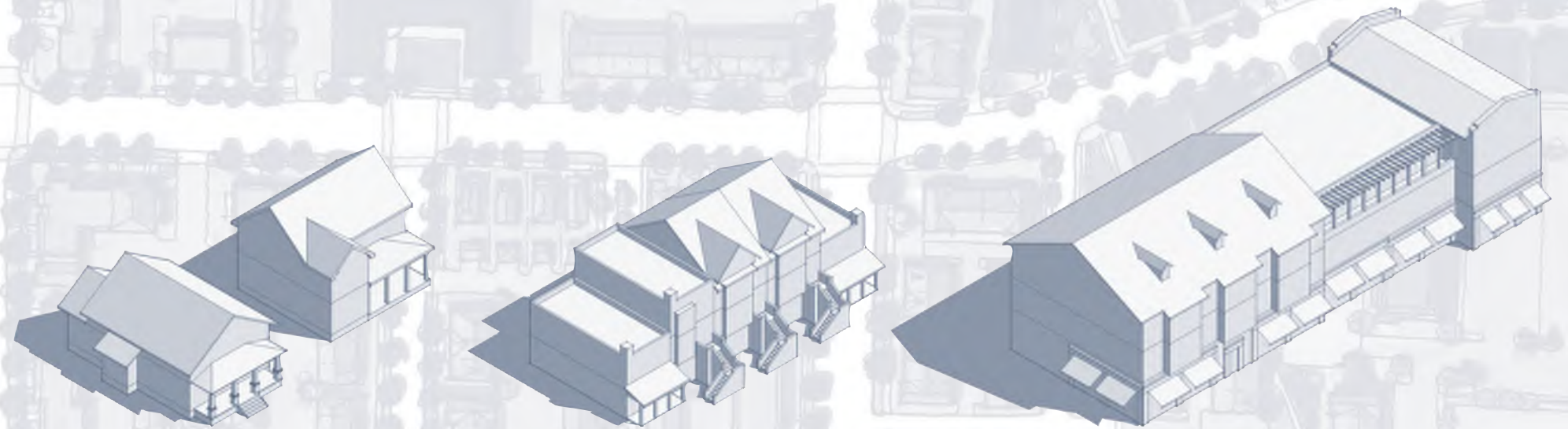


OGDEN, UTAH | MAY 2011
REVISED AUGUST 2024

Ogden Bend *Redevelopment Master Plan & Design Guidelines*





Ogden Bend *Redevelopment Master Plan & Design Guidelines*

PREPARED FOR
Ogden City

PREPARED BY
Urban Design Associates

Adopted by Ogden Redevelopment Agency 5/17/2011 Res. 2011-7
Revised 10/1/2013 Res. 2013-1
Revised 8/20/2024 Res. 2024-4

2024 Exhibits	
A:	Design Principles
B:	Existing Conditions
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Volume 1 | Redevelopment Master Plan

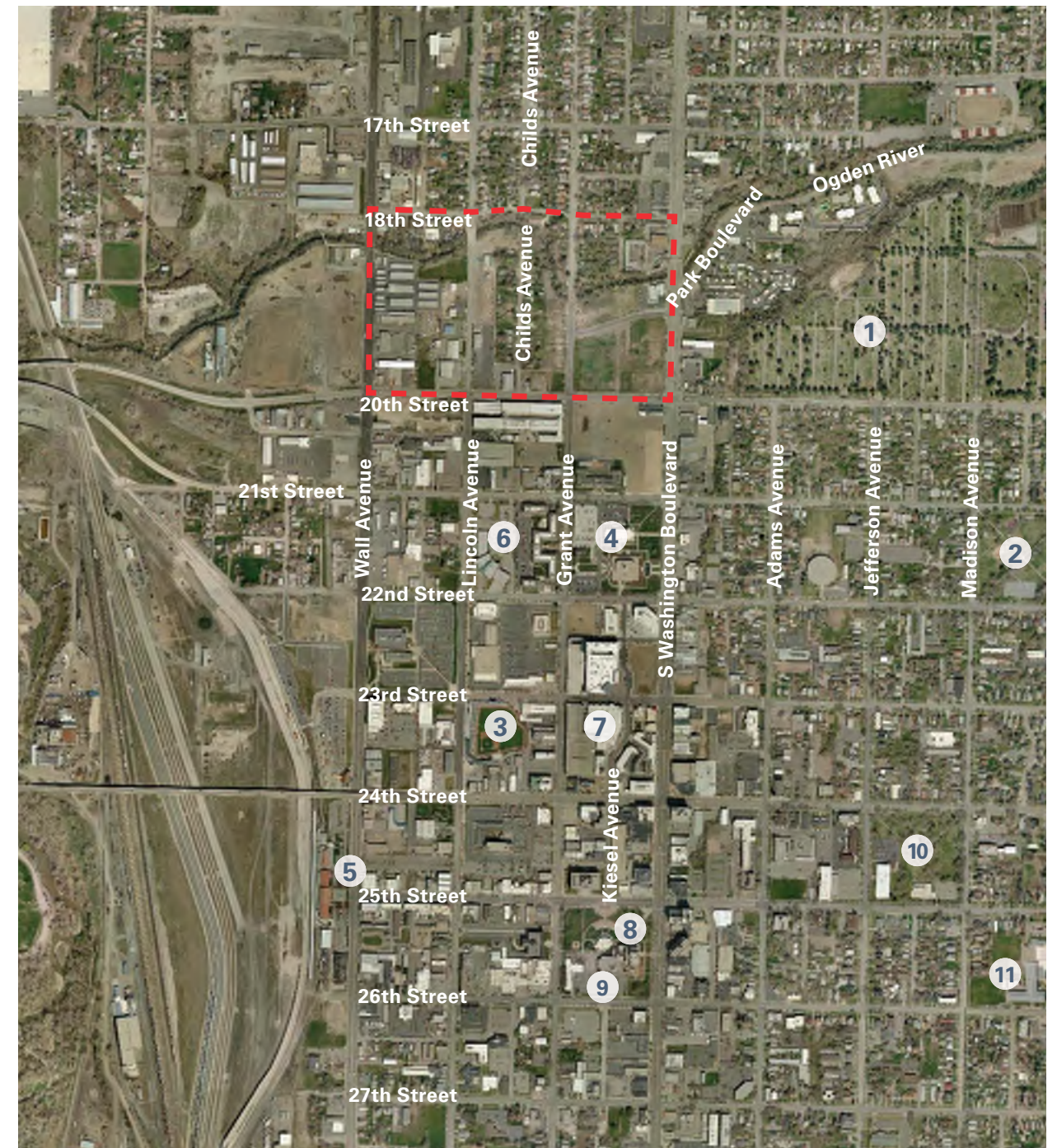
Overview

THE OGDEN BEND NEIGHBORHOOD is a key target area in the re-invention of Ogden at the northern end of Downtown, a roughly 60 acre area lying north of 20th Street. The unique physical feature of the neighborhood is the Ogden River, which runs east to west through the area and makes a unique bend in its path. Recently, the river has been substantially improved for active and passive recreation. In a major restoration effort, the banks have been pulled back to allow greater river capacity and the natural physical features of the river and its banks have been restored to bring back the vegetation and habitats. A wide bike trail alongside the river connects to the regional trail system of the lower Ogden Valley.

Other important anchors of the site are the new and rehabilitated buildings which signal reinvestment in the area. These sites include the Da Vinci Academy, which has been recognized as a successful Charter school, in the restored American Can buildings to south of the site boundary. On the corner of the Ogden River and 18th street, a successful commercial building has opened with retail that addresses the river. Future transportation plans include a downtown circulator (bus or trolley route) that will provide transit opportunities for those who work in downtown, or use the existing commuter rail station.

Ogden City established this area as a redevelopment district, known as the Ogden River Redevelopment Project Area in 2002. The intent of the Redevelopment area is to create an attractive urban environment as a setting for high density urban residential and mixed-use neighborhood that will be a benefit to the downtown revitalization. To do this, new development will offer high density housing choices in walking distance of services and transit stops, and at the same time, respect the relationship with the Ogden River Parkway.

- 1 Ogden City Cemetery
- 2 Liberty Park
- 3 Lindquist Field
- 4 LDS Temple
- 5 Union Station
- 6 Ogden City Public Safety Building
- 7 The Junction
- 8 Municipal Gardens
- 9 Municipal Building
- 10 Lester Park
- 11 James Madison Elementary School



Analysis

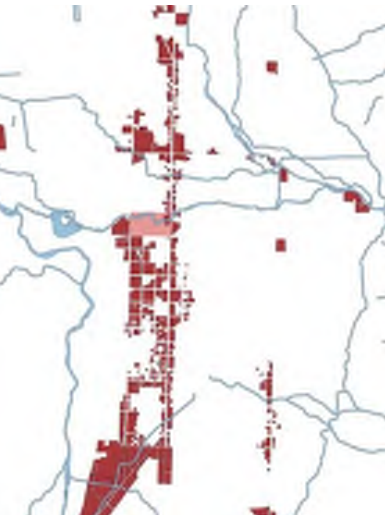
To better understand the general patterns of natural features and man-made systems in the city and surrounding areas, the design team performed an analysis exercise prior to arriving in Ogden. The result was the series of UDA X-Ray® diagrams seen to the right. Each x-ray illustrates a single network or physical feature, allowing patterns as well as gaps or missing links in a network to be studied. A solid knowledge of the broader regional context was very important for the design team, especially since the project site commands such a prominent location along a main natural feature at the core of the region and links into the larger open space, trails, and transportation networks.



BUILDINGS X-RAY The texture of development makes the city's grid clearly visible, and the scale of buildings clearly increases downtown and in industrial areas along the rail tracks.



RESIDENTIAL LAND X-RAY Residential development is heavily concentrated on the 'benches' to the north, east, and south of downtown.



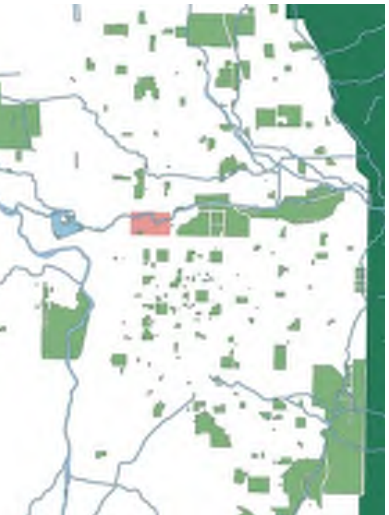
COMMERCIAL LAND X-RAY Commercial activity is organized along several main corridors and in large clusters of shopping centers.



STREETS X-RAY Highways are shown in red, and main arterials in yellow. The streets in older parts of the city maintain a rigid grid, while newer development has occurred in a less organized pattern.



TRAILS AND BIKEWAYS X-RAY Ogden is blessed with an excellent system of pedestrian and bike trails, though some gaps still exist.



OPEN SPACE X-RAY The city boasts numerous riverfront and neighborhood parks, as well as a national forest in the mountains to the east.

The Planning Process



Architecture of the city served as an influential starting point for the design

During the course of the workshop, the planning team, which consisted of urban designers and architects, conducted a three phase process including: Data Collection and Analysis; Alternative Strategies; and Development of the Preferred Plan.

The process included focus group meetings with landowners, businesses, local developers, local builders, the Ogden Arts Committee, City Staff and Elected Officials. The process was led by the Community Development Department, and a Committee of city representatives who guided the team through plan development. The Committee provided insight into available resources, collaboration potential and strategic advice.

The open, interactive process created a consensus approach for improving the neighborhood and creating opportunities to grow as part of a larger city. The approach involved working between the quantitative requirements and the development potential, and the qualitative goals of what the place ‘should feel like’. In this manner the design team was able to simultaneously check the design against those requiring development data and those interested in the look and feel of the new neighborhood.

This document presents the consensus Master Plan and a development framework for the Ogden Bend neighborhood. Principles for Sustainable design set goals that will yield an environmental responsible neighborhood. Guidelines for Architecture and Landscape document the vision for the site and will serve as a starting point for the City when engaging developers and designers.

THEMES DEVELOPED THROUGH COMMITTEE & STAKEHOLDER INPUT		
SENSE OF COMMUNITY	HEALTH & WELLNESS	REVITALIZATION
<div>» Sense of Place: Feels like an Ogden Neighborhood</div> <div>» Connected to History: Acknowledge the past and look to the future</div> <div>» Safe, Secure, Public: Create a place that feels safe, yet public and welcoming</div>	<div>» Healthy Living: Exercise, connected to the outdoors</div> <div>» Healthy Planning & Architecture: Community Gardens, sustainable construction, reuse of Materials</div> <div>» Learning: School, arts, nature</div>	<div>» Connect to Existing Resources: River, trails, adjacent neighborhoods, temple, schools, the Junction, downtown.</div> <div>» Sustainability: Manage water resources, climatic orientation, green infrastructure, and energy efficiency.</div>
		



Generally, it is considered good practice to revise Master Plans every 10 years. This goal of this update is to revisit characteristics of the plan and position the master plan for current market conditions, without losing the key attributes. This plan locates land use and building height to support the original vision of the Ogden River Neighborhood, and can serve as a tool for implementation of these principles.

DESIGN PRINCIPLES

- » Creating various opportunities for affordable and market-rate homeownership;
- » Create and improve access to the Ogden River and public open space;
- » Enhance the public realm through new development projects that front the riverfront, river trails, streets, and public spaces; and
- » Create a plan that transitions in scale between large, industrial buildings and the residential neighborhoods north of the Ogden River.

EXHIBIT A | Design Principles

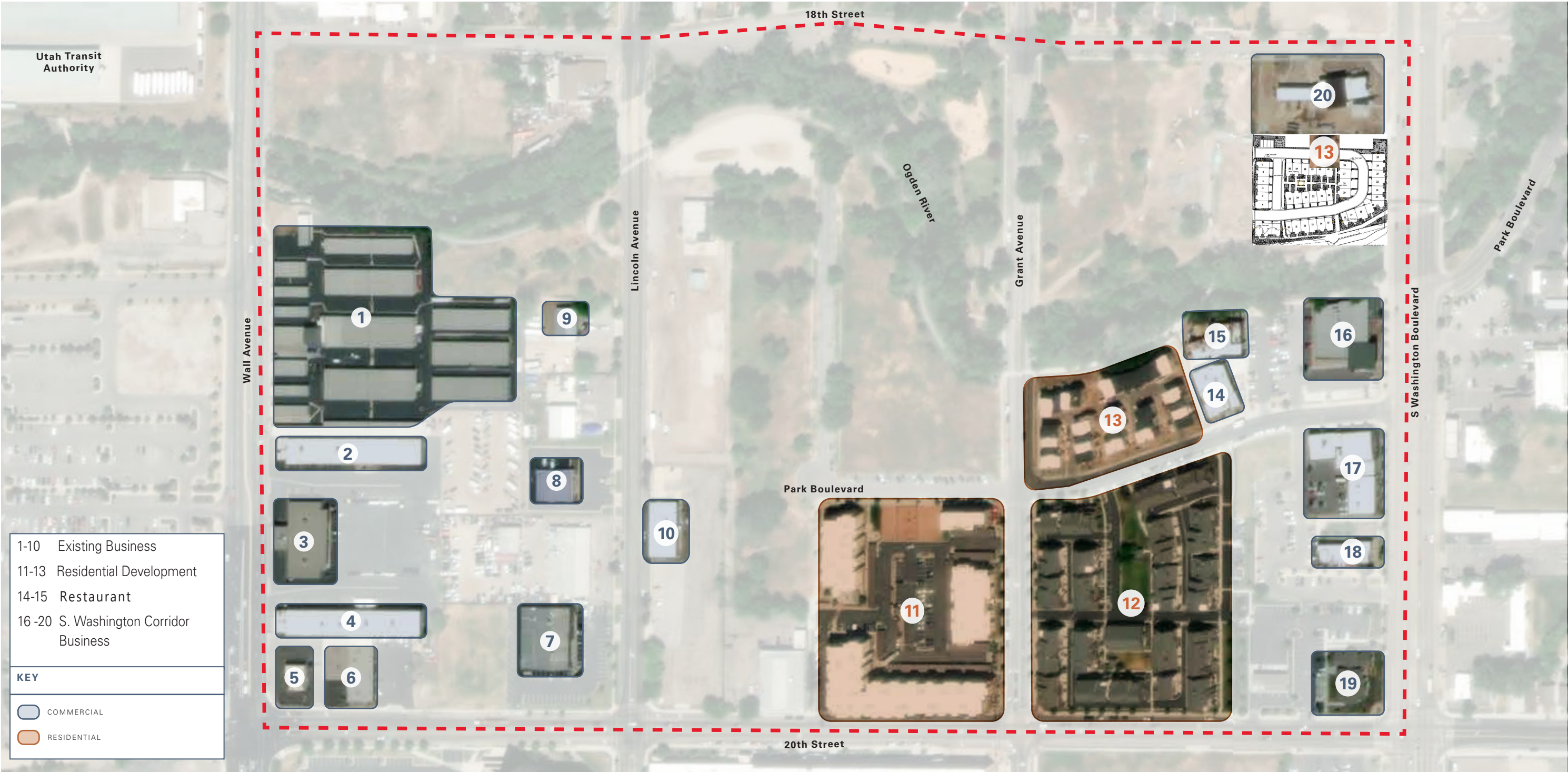
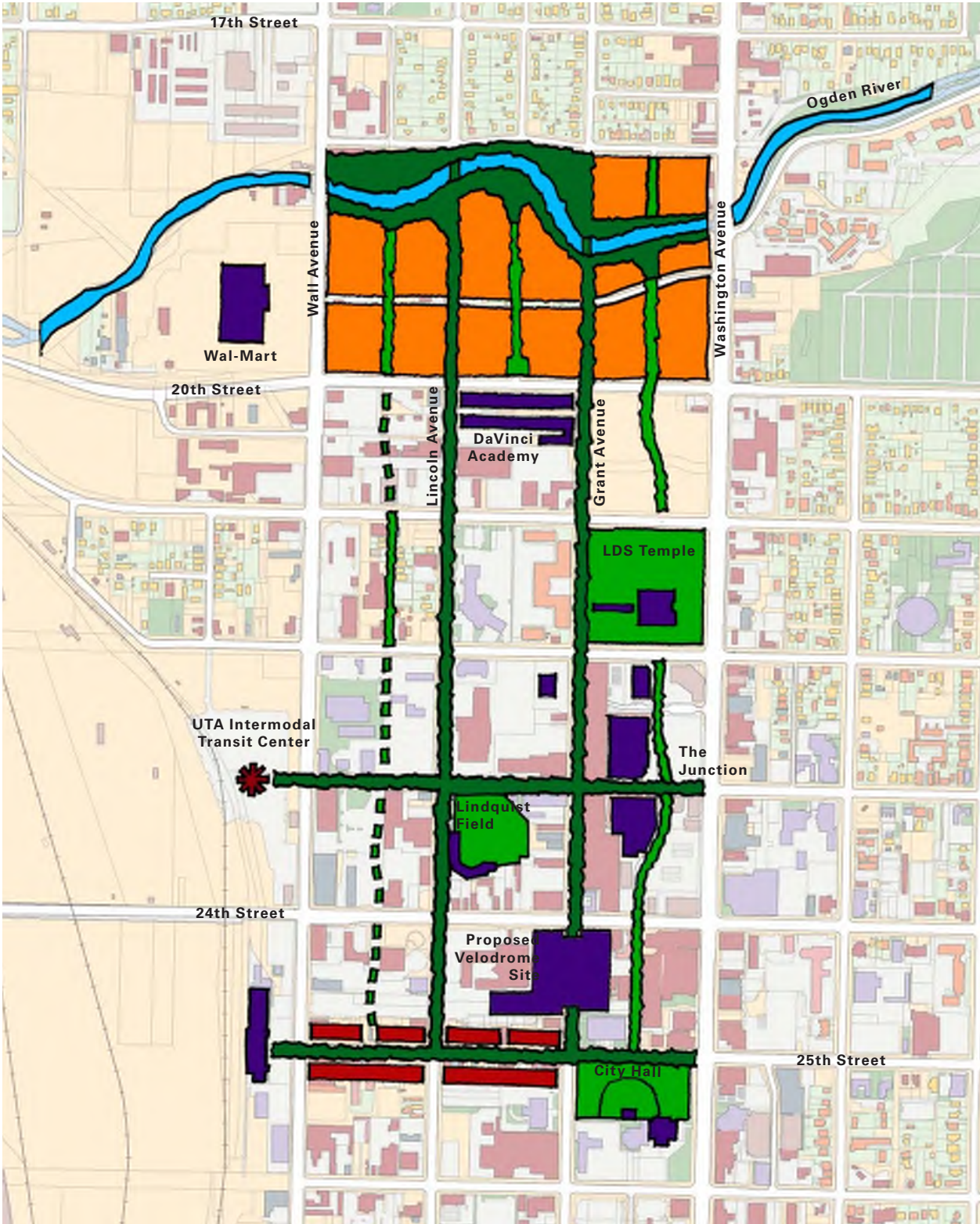


EXHIBIT B | Existing Conditions Plan

Connections

Linking the Ogden Bend neighborhood to nearby cultural, recreational, civic, and transportation resources was cited as a major design goal early in the planning process. Just as importantly, the site provides the closest and most immediate access to the river from downtown, so any proposed development should not restrict that access, but maintain and enhance it. Currently, the main access points to the restored river and trail occur at Washington Boulevard and Wall, Lincoln, and Grant Avenues. However, to best improve the general connectivity of downtown and the site, additional pedestrian and bike connections should be included in the site plan and extended south to link to downtown’s main attractions and activity generators. The diagram to the right was developed to illustrate the envisioned connections and to establish a framework to guide proposed development at Ogden Bend.



Master Plan

THE MASTER PLAN OFFERS a rich array of housing types and sizes to house the growing Ogden population in downtown neighborhood. A hotel, restaurants and retail shops will serve the neighborhood and create a destination within the city.

The vision for the river front is to become a parallel but distinctly different destination from 25th Street. Though these two areas are approximately a 10-minute walk apart, the two can grow together with a targeted strategy. The connections diagram (on page 5) shows where efforts should be made to increase downtown connectivity. Lincoln and Grant Avenues will have pedestrian and bike trails. Additionally, future transit routes (ie: the Circulator) should enhance connections. Within the project boundaries, efforts have been made to increase north-south connections to the neighboring civic strongholds, the LDS Church and DaVinci Academy of Science of Arts, and the to river to the north with park spaces and trails. The experience of the river will be felt deep within the site through view corridors and by careful landscape design.

A new river park has been planned on the north side of the river between Grant and Wall Avenues. This will become an ‘adventure recreation park’ with play equipment for children. Additional public access to river through trails, gathering spaces and performance lawn will make this a destination within itself. Public parking along 18th Street is incorporated for those traveling by car.

New housing includes single-family homes, townhouses and apartments in a series of unique addresses. Some face streets, some face small parks, all emphasize living in the public realm and de-emphasize the car by parking in rear garages or lots.



Stakeholder groups provided the design team with valuable input throughout the week.



The design team worked concurrently to stakeholder sessions, developing the master plan, constructing a digital site model, and creating rendered perspective views.



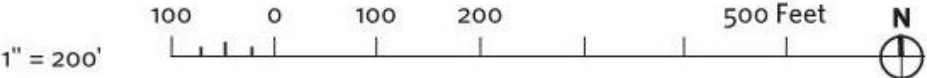
A view of the riverfront trail and new mixed-use development spurring additional activity along it.



EXHIBIT C | Concept Plan

OGDEN BEND: REDEVELOPMENT MASTER PLAN & DESIGN GUIDELINES | OGDEN, UTAH
PUBLISHED MAY 2011 - UPDATED 2024

This concept plan is illustrative of the types of development that might occur in the Ogden Bend area. The plan does not require development to follow this concept plan exactly, nor does it approve development exactly as shown.





2013 Illustrative Plan



2024 Concept Plan

EXHIBIT D | Master Plan Comparison



EXHIBIT E | Open Space Plan

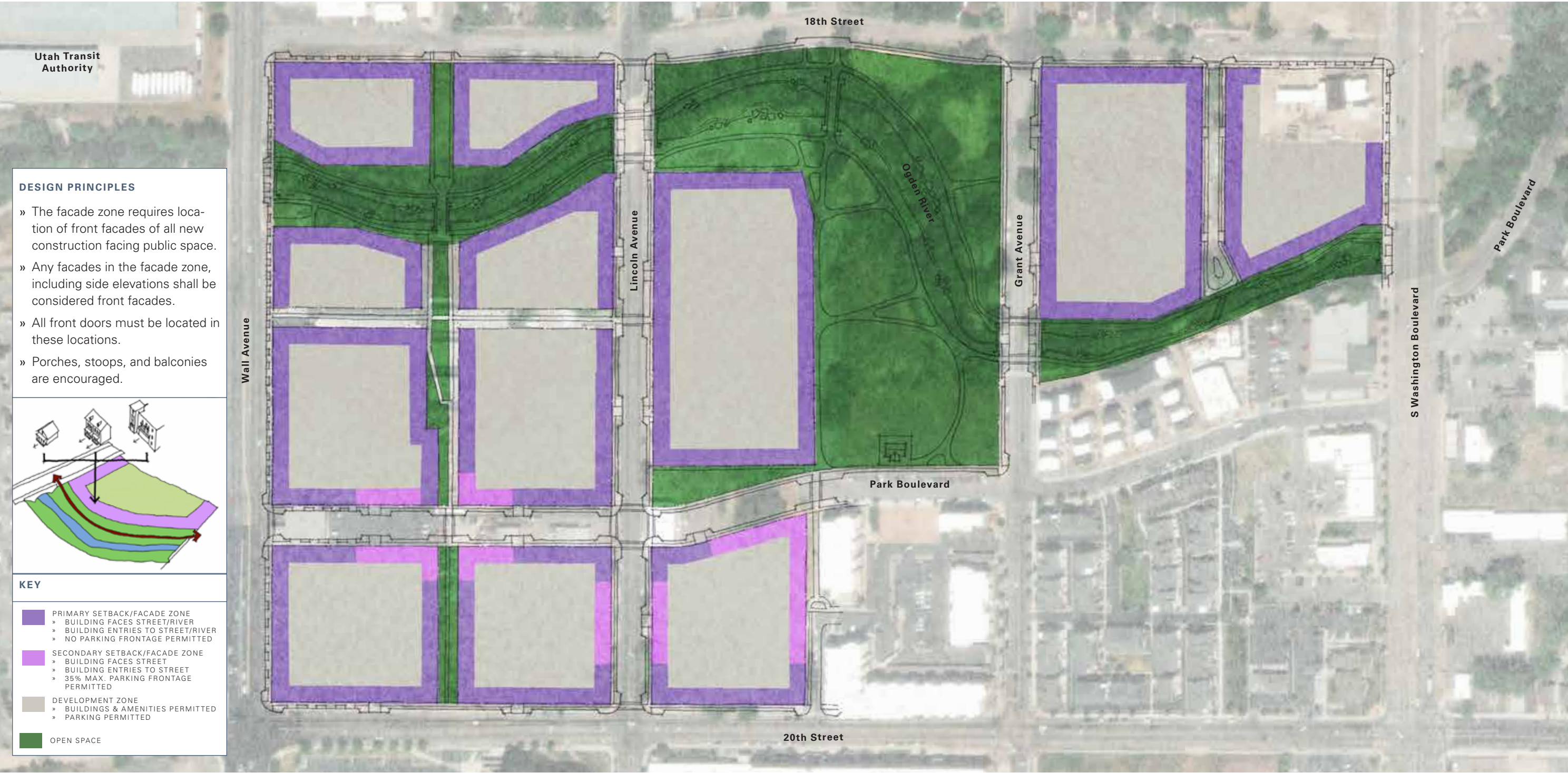


EXHIBIT F | Building Placement Plan

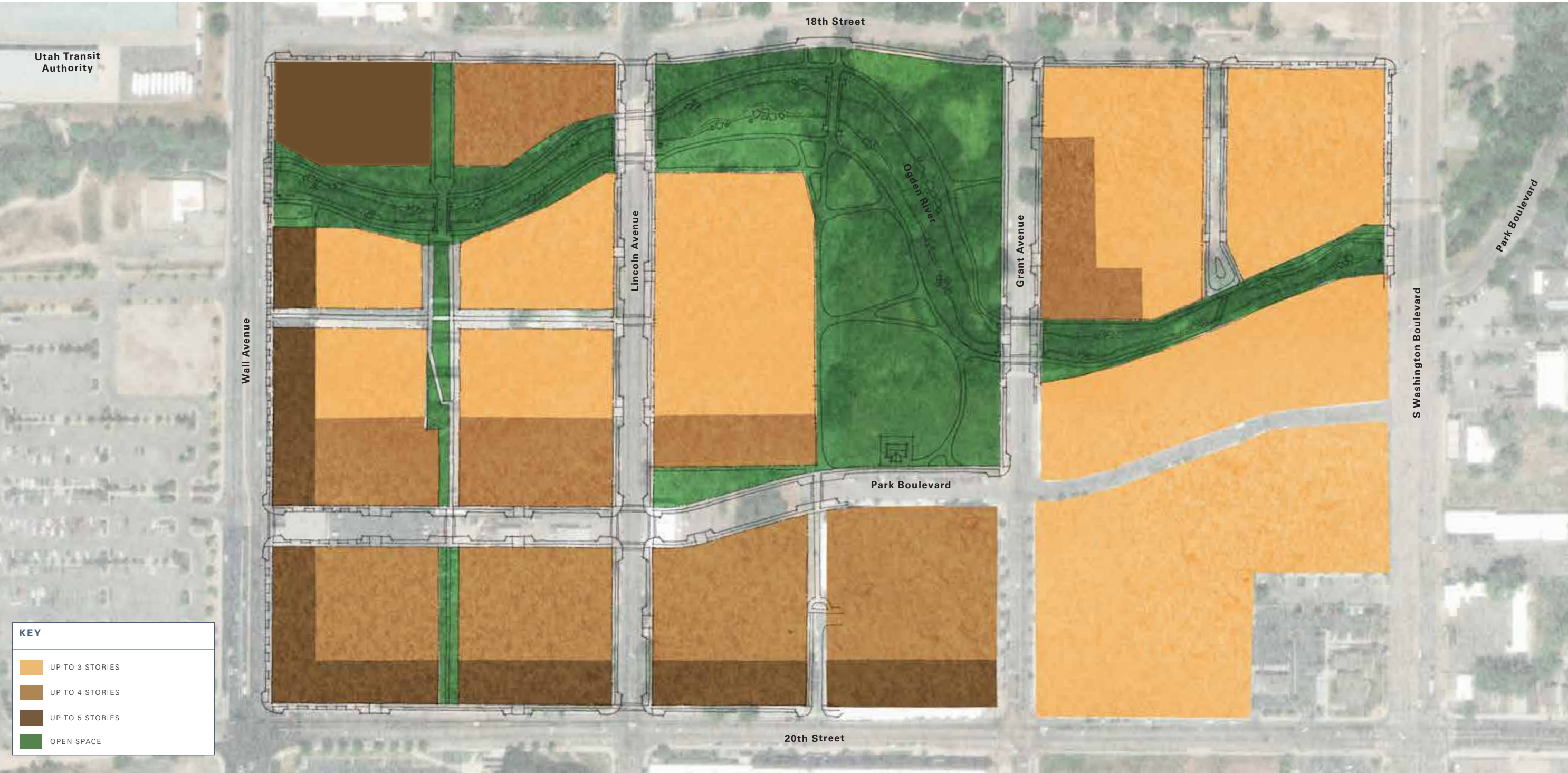


EXHIBIT G | Building Heights Plan

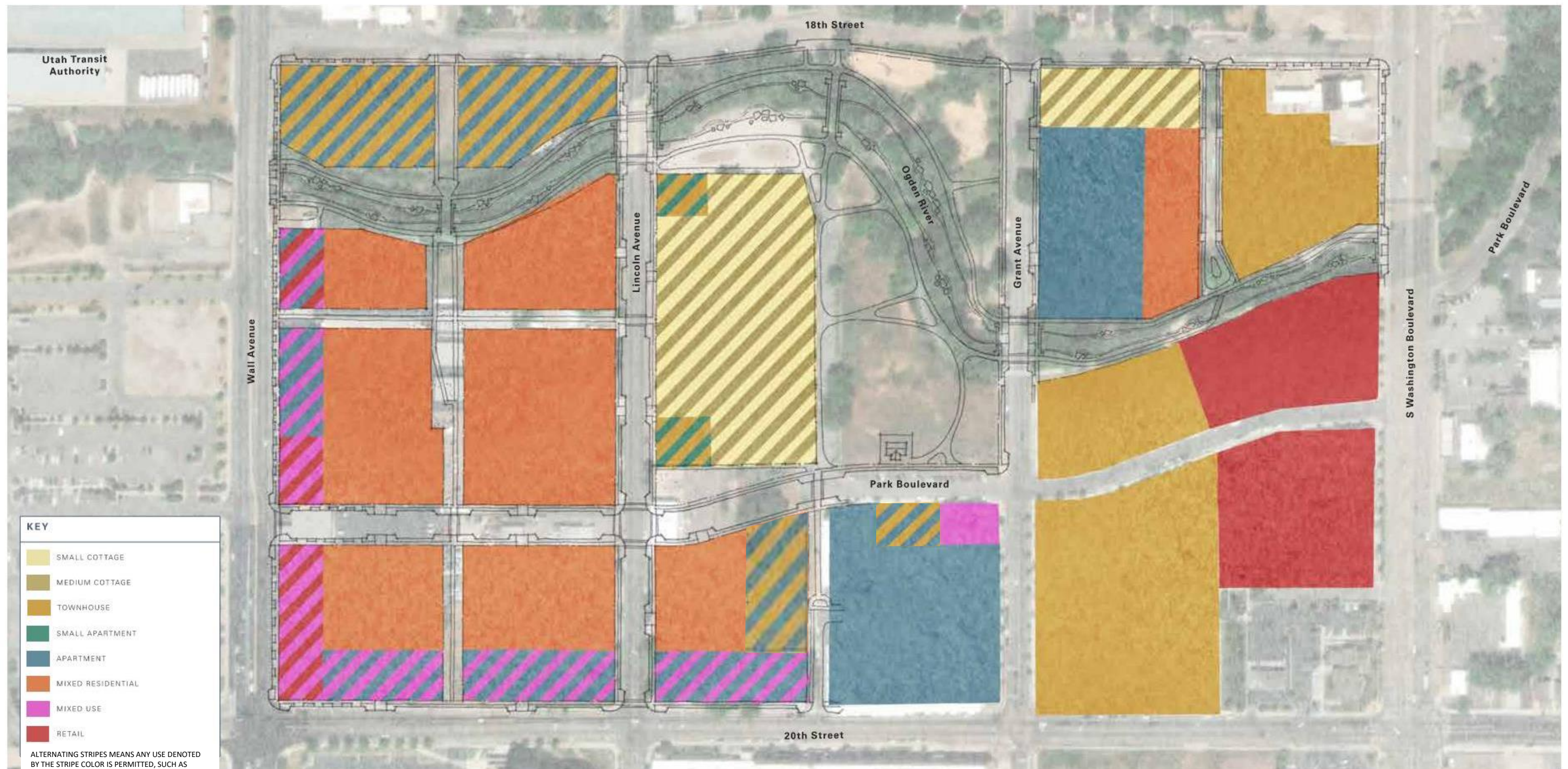


EXHIBIT H | Land Use Plan



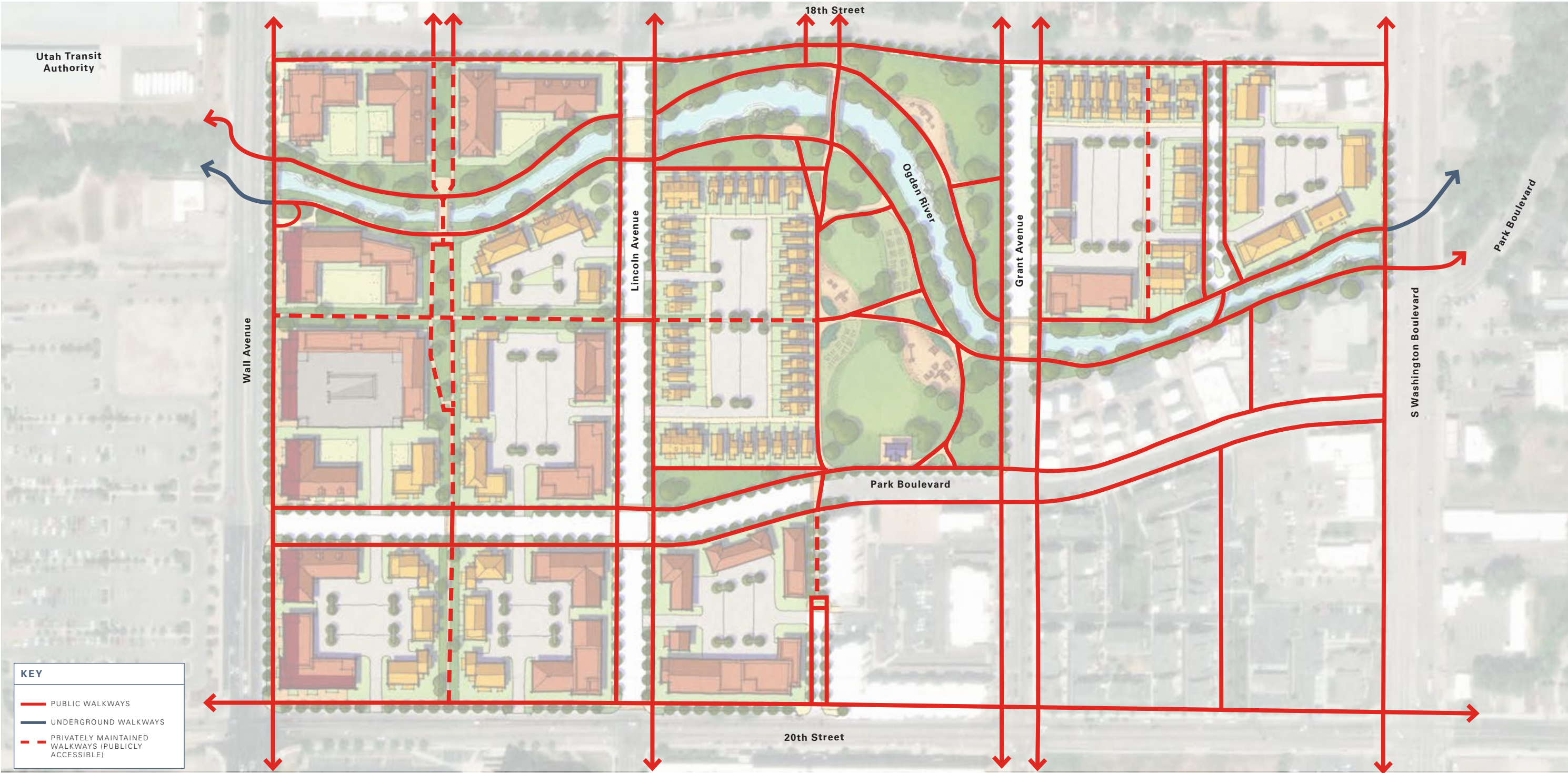
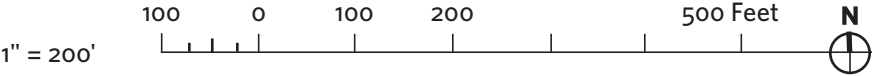


EXHIBIT I | Pedestrian Circulation Plan



Perspective Views

A SENSE OF PLACE

Once the Ogden Bend plan is realized, it will become a true Ogden neighborhood—walkable, connected to history and nature, and entirely unique. A comfortable building scale, combined with architectural styles that acknowledge the past while looking to the future, will ensure that the new neighborhood endears itself to current and future Ogden residents and endures as an integral part of the city well into the future.



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ACTION AT THE BEND
Ogden is already home to very enthusiastically active people, and the recently restored stretch of river and trail is attracting them to the Bend. New development, sensitive to the river and trail, will complement riverfront activities and generate additional energy here.



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SAFETY AND HEALTH
Ogden Bend will add a substantial amount of parks and green spaces to the city’s open space network. To make all these parks and green spaces feel safe, each is fronted by buildings and programmed to generate activity. Illustrated here is an area of community gardens that will provide a form of social recreation, foster a sense of responsibility for the local environment, and encourage a healthy lifestyle.



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SMALL GREENS & COURTYARDS
The new neighborhood will boast a complete range of green space, from the large riverfront park to small, intimate courtyards lined by cottages. Small green spaces like this one are perfect for small playgrounds, informal gatherings, short strolls, and other passive recreation.



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A HEALTHY PLACE
The relationship of the Ogden River to the new neighborhood will be a harmonious one. New development will respect the natural setting, while the river will drive many of the daily recreational and commercial activities that occur here.



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EXHIBIT J | Aerial Perspective



Volume 2 | Design Guidelines

Introduction

The Design Guidelines are considered part of the Redevelopment Master Plan and have been crafted to help realize the vision set forth by the redevelopment plan process. While the overall intent and general principles have been determined by the plan, the Design Guidelines make further efforts to ensure that intent continues in the implementation stage. These Design Guidelines have been organized through a series of drawings, recommendations and instructions to guide the users through:

- 1 Establishing landmark buildings and unique addresses;
- 2 Determining building placement, scale and form; and,
- 3 Applying regionally appropriate and architecturally correct style.

By following these steps, any builder or developer can both visualize the goal and build a neighborhood that Ogden can be proud to have as part of the Downtown.



COMMUNITY PATTERNS

Establishing landmark buildings and unique addresses



BUILDING TYPOLOGIES

Determining building placement, scale and form



ARCHITECTURAL STYLES

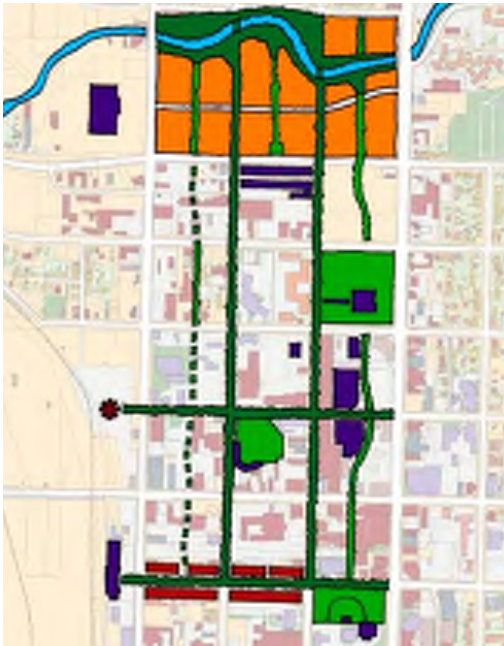
Applying regionally appropriate and architecturally correct style



The Design Guidelines Principles

The Design Guidelines Principles build on the Design Principles established during the Planning Process (Volume I, P1.4) by further articulating and applying them to Community Patterns and Architectural Patterns. By striving to achieve all these principles collectively, Ogden Bend will become an authentic Ogden neighborhood.

COMMUNITY PATTERNS



CONNECTIVITY AND WASHABILITY

- » Establish strong north-south connections to 25th Street with both vehicular and pedestrian routes
- » Build an inter-connected network of sidewalks, trails and bike routes
- » Promote walkability through providing a healthy mix of uses



OPEN SPACE AND RECREATIONAL OPPORTUNITIES

- » Maximize the benefit of the Ogden River through access points, water-based activities and open vistas
- » Create trail connections, recreation areas and passive open spaces that are inter-connected

ARCHITECTURAL PATTERNS



BUILDINGS ORIENT TO AND MAKE PUBLIC SPACES

- » Buildings should front onto streets and park spaces
- » Porches, balconies and terraces should be located to create outdoor living spaces in a semi-public manner
- » Buildings and their front doors should be scaled relative to the size of the street or park they are fronting to shape public parks and spaces.



DIVERSE MIX OF ARCHITECTURE

- » A rich diversity of building types and styles should be employed throughout the neighborhood
- » Architectural styles should be composed carefully to varied patterns and juxtapositions.
- » Buildings should include qualities and details of the region

How To Apply The Design Guidelines

This book is intended to give the builder and developer a context within which to build new construction in the vision of the Ogden Bend neighborhood. The neighborhood context, site characteristics, and development objectives influence a series of decisions related to siting of the building, building types, architectural styles and parking strategies. These Design Guidelines are intended as a tool to visually articulate the standards of development expected by the city that can't be easily understood with words only.

STEP 1 | LOCATION

- » Locate your lot within the Key Addresses Plan and review neighborhood plans, opportunities, and appropriate characteristics for new construction.
- » Develop an understanding of your address within the context of Ogden Bend neighborhood and surrounding neighborhoods and open space resources.
- » Understand the significance of your property and develop a vision for the future.

STEP 2 | BUILDING TYPOLOGIES

- » Review the site plan requirements including building massing, setbacks, facade zone requirements, encroachments, parking and other special provisions. (from Building Placement, pages 2.10 and 2.11).
- » Research the desired building type and massing recommendations as found in the typology and composition pages 2.13 through 2.20.

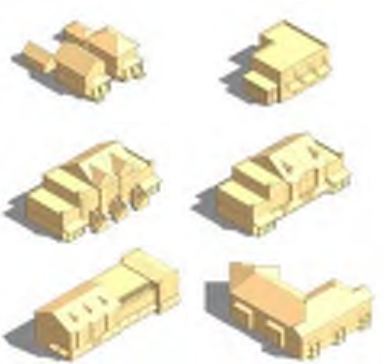
STEP 1:

Identify your neighborhood and review restrictions and standards for site, building, and landscape design.



STEP 2:

Review the requirements and guidelines for your building type.



STEP 3 | ARCHITECTURAL DESIGN

- » In Community Patterns, review the Addresses for guidance to the type and feel of the space, and the appropriate mix of architectural styles.
- » Choose from applicable architectural styles as presented in the Architectural Patterns and refer to design guidelines for that style (pages 2.21 through 2.35).
- » Based on the appropriate style, develop an understanding of the essential characteristics of that style. Each style has been carefully formulated to be region specific and to be distinguished from the others.
- » Follow the composition, detail and material recommendations for your style.

STEP 4 | LANDSCAPE

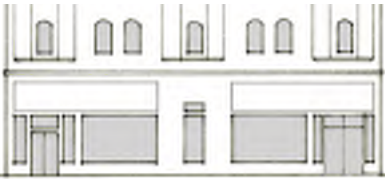
- » Review the landscape patterns for neighborhood-wide goals and recommendations to maintain the spirit of the Redevelopment Master Plan.

STEP 3:

Consult with Architectural Patterns for guidance on your architectural style.



If your site is Mixed-Use, additional ground floor guidelines may apply.



STEP 4:

Consult with the Landscape Patterns section for guidance on appropriate landscape elements.





THE COMMUNITY PATTERNS section describes character and provides recommendations for the Ogden Bend neighborhood. This content is meant to build on what was provided within the Redevelopment Master Plan, and users are encouraged to refer back to that information. The Community Patterns section contains the following information:

KEY ADDRESSES Describes each of the eight addresses in the plan, including their distinct characteristics and differences in architecture, building types and scale, character of open space, and the activities that occur there.

LANDMARK LOCATIONS Describes the significance and provides locations of foreground buildings which are essential to creating memorable places within the Ogden Bend neighborhood.

BUILDING TYPOLOGY Describes how each block is comprised of a variety of architectural styles and how by mixing the styles a series of unique addresses form distinct streets and neighborhoods.



EXHIBIT K | Community Patterns

Key Addresses

The master plan was conceived as a collection of unique and special addresses. Each of these addresses has distinct characteristics that distinguish it from the rest of the new neighborhood: differences in architecture, building types and scale, character of open space, and the activities that occur there. Ogden Bend will be composed of eight key addresses, which are briefly summarized below and described in greater detail on the following pages. Addresses have been derived by the primary urban qualities which make each area unique, rather than by limiting the character traits to project or parcels boundaries. This approach is essential to establishing a whole neighborhood that is greater than its parts.



<p>Wall Avenue</p> <p>Loft-style buildings with a mix of uses create the western edge of the neighborhood.</p>	<p>Becker Square</p> <p>Becker Brewery reborn as a residential address organized around three distinct green spaces.</p>	<p>Child's Walk</p> <p>The north-south pedestrian link, Child's Walk, forms the spine of this central Ogden Bend neighborhood.</p>	<p>Keisel Court</p> <p>This address draws on its proximity to the river to form intimate, inviting courts.</p>
<p>Pingree Ramble</p> <p>Organic, winding park address that connects 20th Street to the river.</p>	<p>Lincoln Square</p> <p>Intimate, neighborhood green ringed by small cottages and colorful cottage gardens.</p>	<p>The Cannery District</p> <p>As a main gateway into the neighborhood, this address is centered on a formal entry green at the DaVinci Academy.</p>	<p>Washington's Landing</p> <p>Unique neighborhood retail and residential fronting the Ogden River, complemented by a mix of commercial uses along Washington Avenue.</p>

Key Addresses, continued

WALL AVENUE



Loft-style buildings line the western edge of the neighborhood, serving as buffer to large parcels to the west. The tree selections along Wall Avenue, along with architectural devices, should provide a shade canopy that promotes a comfortable pedestrian environment.

- ARCHITECTURAL STYLES
- Arts & Crafts : 10%
 - Loft Mercantile : 40%
 - Transitional Modern : 50%

PINGREE RAMBLE



The Pingree Ramble is characterized by its organic, winding park space that connects 20th Street to the river. Townhouses have front doors on this park space lending a feel of garden living to this informal yet inviting address.

- ARCHITECTURAL STYLES
- Arts & Crafts : 40%
 - Victorian : 50%
 - Transitional Modern : 10%

LINCOLN SQUARE



The intimate neighborhood green on Lincoln Avenue gives this address its namesake. Ringed by cottages, this space provides a place for active and passive recreation. The cottages are distinguished by simple forms, and historic styles with deep, full-width porches. The landscape installations should include colorful plant types to complement the lawn.

- ARCHITECTURAL STYLES
- Arts & Crafts : 25%
 - Victorian : 75%

BECKER SQUARE



Named for the old Becker Brewery, this address has a series of park spaces, each fronted by a different residential housing type. Open spaces may celebrate the past with glass (bottle) art, history plaques and edible landscape types of the historic neighborhood that surrounded the Brewery.

- ARCHITECTURAL STYLES
- Arts & Crafts : 25%
 - Victorian : 50%
 - Loft Mercantile : 25%

Key Addresses, continued

CHILD’S WALK



The north-south pedestrian link, Child’s Walk, forms the spine of this central Ogden Bend neighborhood. The river edge features a combination of active and passive uses, including community gardens.

- ARCHITECTURAL STYLES
- Arts & Crafts : 50%
 - Victorian : 25%
 - Transitional Modern : 25%

KEISEL COURT



This address features a variety of housing types and hotels that draw on their proximity to the river to form intimate, inviting courts. Existing trees should be retained to maintain a sense of maturity.

- ARCHITECTURAL STYLES
- Arts & Crafts : 75%
 - Victorian : 25%

WASHINGTON’S LANDING



This riverside neighborhood is focused around creating a rich, mixed-use neighborhood of commercial and retail activity along the river and Washington Boulevard. The residential units are designed to form intimate neighborhood parks that are linked to the river.

- ARCHITECTURAL STYLES
- Arts & Crafts : 50%
 - Victorian : 25%
 - Transitional Modern : 25%

THE CANNERY DISTRICT



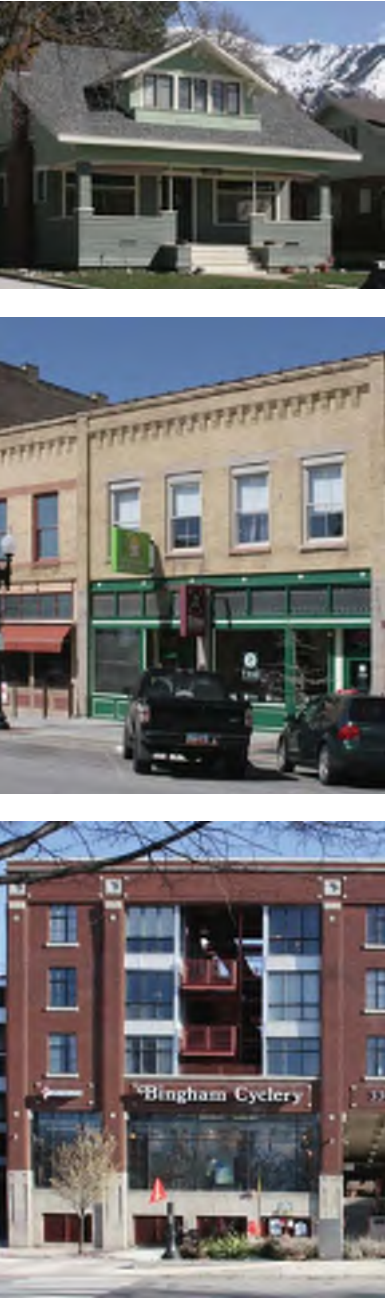
As a main gateway into the neighborhood, this address is centered on a formal entry green and a pedestrian-friendly street of a diverse unit types. Landmark buildings should serve as companions to the historic American Can Building, and landscape should have a more urban feel.

- ARCHITECTURAL STYLES
- Arts & Crafts : 25%
 - Victorian : 25%
 - Loft Mercantile : 40%
 - Transitional Modern : 10%

Landmark Locations

Cities are made up of Background Architecture and Foreground Architecture. Background Architecture composes most of the city and has attributes such as: well designed facade compositions of simple (often repetitious) patterns and good quality materials and finishes. Foreground Architecture include buildings that warrant a high level of design because of their location and importance within the city. These buildings are typically at key gateway locations or terminate vistas. Key attributes include: facades of more complex compositions and unique elements and high quality materials and finishes.

BACKGROUND BUILDINGS



FOREGROUND BUILDINGS



The diagram below indicates the locations of Landmark, or Foreground, buildings which should receive extra care in design therefore creating memorable places in the neighborhood. The perspective at left indicates the Landmark Building terminating Childs Avenue.

LANDMARK BUILDINGS THAT SERVE AS GATEWAYS, CREATE VISTAS AND CREATE SPECIAL PUBLIC SPACES



Architectural Patterns

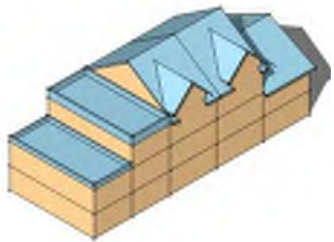
THE ARCHITECTURAL PATTERNS SECTION illustrates the key elements and design strategies employed in the region’s most enduring neighborhoods. The documentation within this section is to be used as a design tool in the creation of a new neighborhood with distinctive regional character and quality of place. The goal is the creation of a neighborhood composed of a variety of architectural styles with a consistent quality of character and detail.

This section identifies the palette of building types that are appropriate for these neighborhoods, and provides guidelines for how individual buildings should be articulated. The pages that follow provide guidance about the following elements:

- » **BUILDING TYPOLOGIES** which identifies a range of building types, their proper placement on a lot, and how they may be expressed in various styles.
- » **BUILDING ARTICULATION** which provides key elements to consider when designing each building type
- » **ARCHITECTURAL STYLES** which identifies the key elements of the four styles: Victorian, Arts & Crafts, Transitional Modern and Loft Mercantile; and includes the following components of each style:
 - › Facade Composition, Windows, and Doors
 - › Eave Details, Porches and Materials
 - › Specific Guidelines for Large Buildings

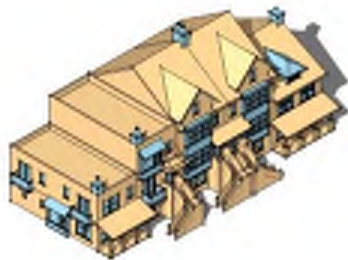
BUILDING TYPOLOGIES

Understanding Building Types



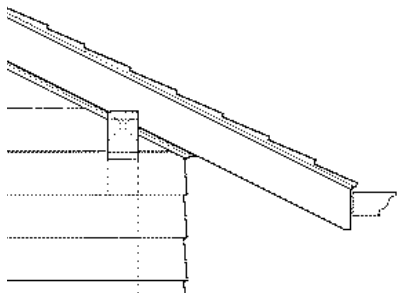
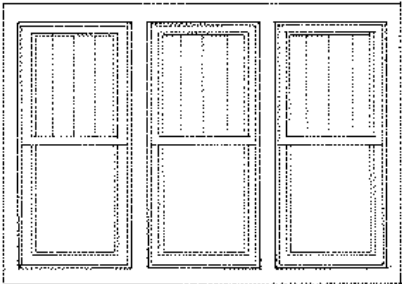
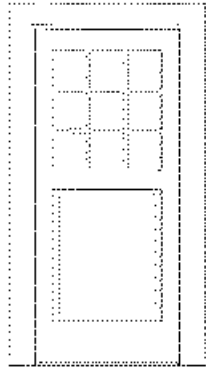
BUILDING ARTICULATION

Composition of building elements



ARCHITECTURAL STYLES

Applying Style-Based Elements, Details and Materials



The location, articulation and design of building typology is critical to the design of new neighborhoods. The chart on the following page, details the appropriate articulation of buildings in the design process.

BUILDING PLACEMENT

Great neighborhoods require appropriate building placement to create a physical environment for success. The overall building placement diagram, shown on this page, identifies general locations for building frontages that include streets and public spaces. This section provides prototypical setbacks and building placement standards by building type. In addition, these standards include side setbacks, which identifies relationship between buildings.

In the design of addresses of multiple units, consider the location and assignment of new property lines and setbacks to coordinate with architectural criteria identified in the chart of the following page.

BUILDING CONFIGURATION

The requirements on the following page identify key quantitative components of building design including glazing and building height requirements. For transparency, this is the measure of the primary facade of each story in transparent windows. For windows to be considered transparent, the window glass must transmit at least 50% of visible daylight. Side Elevations facing public spaces and public ways, must be in the same spirit of the front facade design requirements.

Building Height is typically driven by use, availability of parking, context of location, demand and even code requirements. Other key determinants are the building type and massing, and uses on each floor. The chart on the following page identifies recommended floor-

to-floor heights by building type. Story heights are measured from the floor to the bottom of the lowest structural member that supports the story above.

APPROVED ARCHITECTURAL STYLES

The architecture of Ogden Bend is envisioned to blend with the existing character of Ogden while providing new options for housing and commercial needs. In order to help fulfill the vision of the plan, nine Building Types have been identified as a ‘kit of parts’. Each can be designed in a selection of Architectural Styles that, when combined along streets and parks, create variety and interest for the neighborhood. The chart on the following page can be used to determine the appropriate, approved architectural styles should be applied to each building type.

At a minimum, each block should include 3 of 4 architectural styles, with no one style consisting of less than 10% of the block mix.

PARKING FRONTAGE

The distance where parking, including access aisles, abuts the street, excluding landscape areas and parking behind the read line of all buildings.

- » FRONT YARD SETBACK
The area between the Front Yard Setback Line and the front property line. Stairs, porches, balconies and bay windows can project into the Front Yard.
- » FRONT FACADE ZONE
A zone beyond the Front Yard Setback where the front facade must be placed.
- » REAR ALLEY SETBACK
The distance from the rear alley right-of-way to a built structure. Where needed, a Rear Yard Facade Zone is established for lots with rear yards visible to the public.
- » SIDE YARD SETBACK
The minimum distance between the structure and the side yard property line.

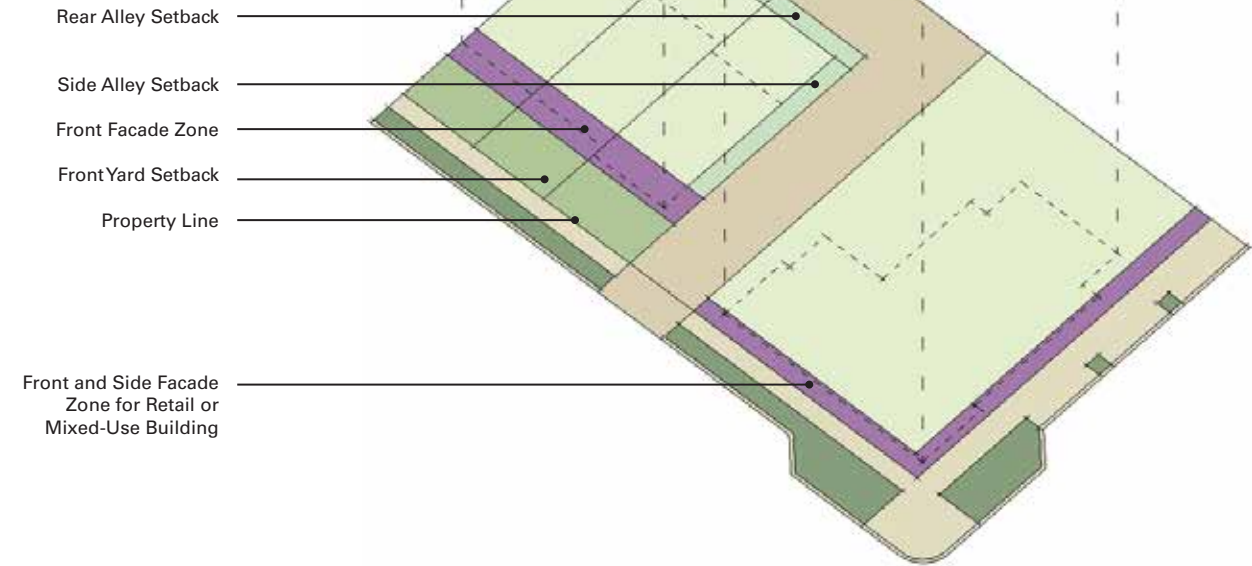






EXHIBIT L | Building Typologies

BUILDING TYPOLOGIES				BUILDING PLACEMENT					BUILDING CONFIGURATION					APPROVED ARCHITECTURAL STYLES			
Building Scale Reference	Type	Description	Precedent Image	Front Yard Setback	Front & Side Facade Zone	Rear & Side Alley Setback	Side Yard Setback (min.)	Percentage of Lot Frontage Occupied (min.-max.)	Transparency Ground Story (min)	Transparency Upper Story (min)	First Floor Min. Height	Second Floor Min. Height	Third/Fourth Floor Min. Height	Victorian	Arts & Crafts	Transitional Modern	Loft Mercantile
SMALL RESIDENTIAL & COMMERCIAL TYPES	Small Cottage 	A compact single-family dwelling of one, one-and-a-half, or two stories, platted to allow ownership of individual dwellings, with parking grouped into a single parking lot.		12'	10'	n/a	3'	n/a	30%	30%	10'	9'	n/a	✓	✓	✓	
	Medium Cottage 	A compact single-family dwelling of one, one-and-a-half, or two stories, platted to allow ownership of individual dwellings, with an attached or semi-detached garage accessed by an alley or shared driveway.		12'	10'	5'	3'	70% - 90%	30%	30%	10'	9'	9'	✓	✓		
	Townhouse 	A unit with compact footprint, typically having two or three living floors, sometimes over a garage space. Often found in rows of three, four, five or six units, each with its own entrance and yard.		10'	15'	5'	0'	90% - 100%	30%	30%	10'	9'	9'	✓	✓	✓	
	Live-Work 	A unit that is similar to a townhouse but has the ability of having a ground floor office or commercial use. The commercial space and residential unit share entrances.		5'	20'	5'	0'	90% - 100%	50%	30%	14'	10'	9'	✓	✓	✓	✓
	Small Mixed-Use Building 	A small building with no more than a 1,500 square foot footprint for commercial or office use and a maximum of 2 dwelling units above the nonresidential space, but without a shared connection between the various uses.		0	5'	5'	0	80% - 100%	50%	30%	14'	10'	9'	✓	✓	✓	✓
	Small Apartment Building 	An apartment building with up to 6 apartment units and with 1 parking stall built into the building for each unit. May include first floor office/commercial if the space shares an entrance and is leased with an apartment.		10'	15'	As req.	5'	70% - 90%	40%	30%	14'	10'	10'	✓	✓	✓	✓

EXHIBIT M | Building Types

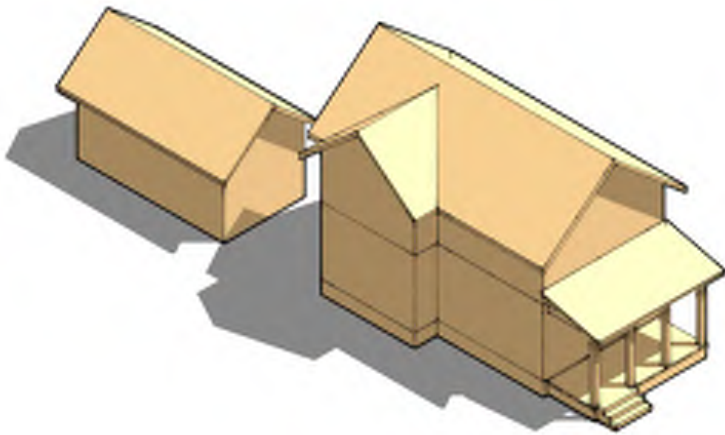
BUILDING TYPOLOGIES				BUILDING PLACEMENT					BUILDING CONFIGURATION					APPROVED ARCHITECTURAL STYLES			
Building Scale Reference	Type	Description	Precedent Image	Front Yard Setback	Front & Side Facade Zone	Rear & Side Alley Setback	Side Yard Setback (min.)	Percentage of Lot Frontage Occupied (min.-max.)	Transparency Ground Story (min)	Transparency Upper Story (min)	First Floor Min. Height	Second Floor Min. Height	Third/Fourth Floor Min. Height	Victorian	Arts & Crafts	Transitional Modern	Loft Mercantile
LARGE RESIDENTIAL & COMMERCIAL TYPES	Apartment Building 	A large building of multiple floors of apartment units with circulation cores and hallways. Typically, front doors face public streets or parks. Parking may be in rear lots or under a portion of the building.		10'	15'	As req.	5'	70% - 90%	40%	30%	10'	10'	10'		✓		✓
	Mixed-Use Building 	A large building of multiple floors with a mix of office, commercial and residential uses. Parking may be in rear lots or under a portion of the building.		0'		As req.	0'	80% - 100%	50%	30%	16'	10'	10'	✓	✓	✓	✓
	Retail Building 	A one or two-story commercial building typically in a stand-alone condition with a rear parking lot.		0'	5'	As req.	0'	70% - 90%	60%	50%	16'	12'	N/A			✓	✓

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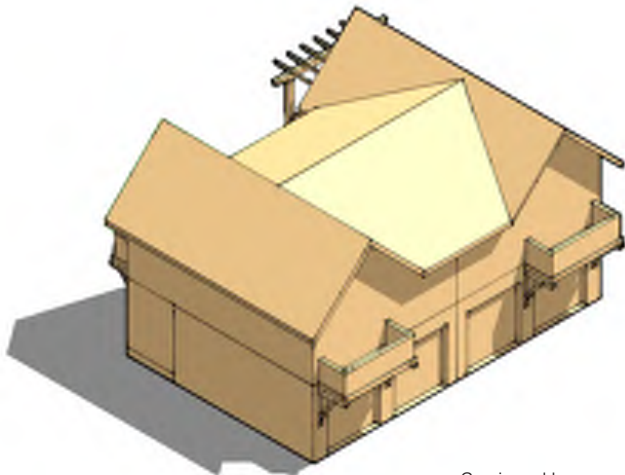
EXHIBIT N | Building Types Continued

COTTAGE & CARRIAGE HOUSE

This page illustrates examples of new construction of cottages in new and existing neighborhoods. In all examples, note the simple roof forms, simple detailing, bright colors and large windows.



Cottage



Carriage House



Cottage – New Construction, Daybreak, UT



Cottage – New Construction, Daybreak, UT



Cottage – New Construction, Prospect New Town, CO



Carriage House – New Construction, Watercolor, FL



Carriage House – Historic Precedent, Alexandria, VA



Carriage House – New Construction, Charlotte, NC



Carriage House – New Construction, Charlotte, NC



Carriage House – Historic Precedent, Richmond, VA



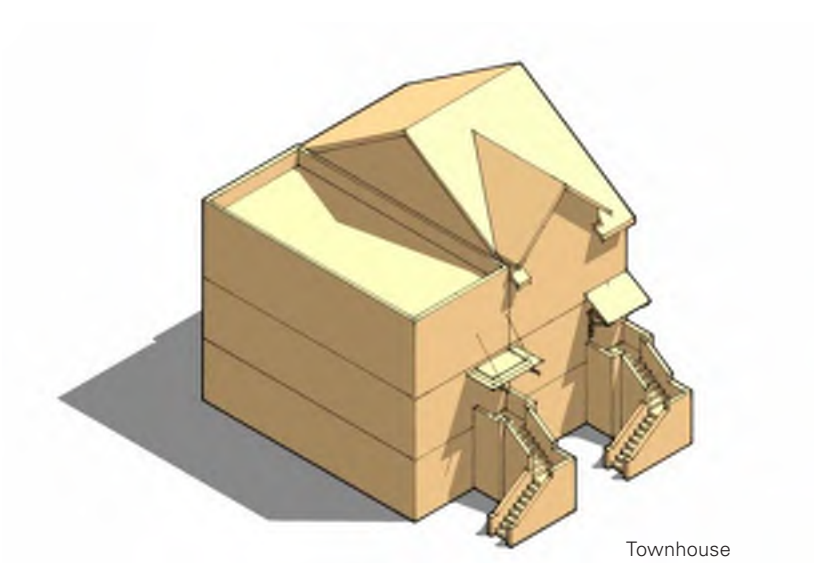
Cottage – Historic Precedent, Stockbridge, MA



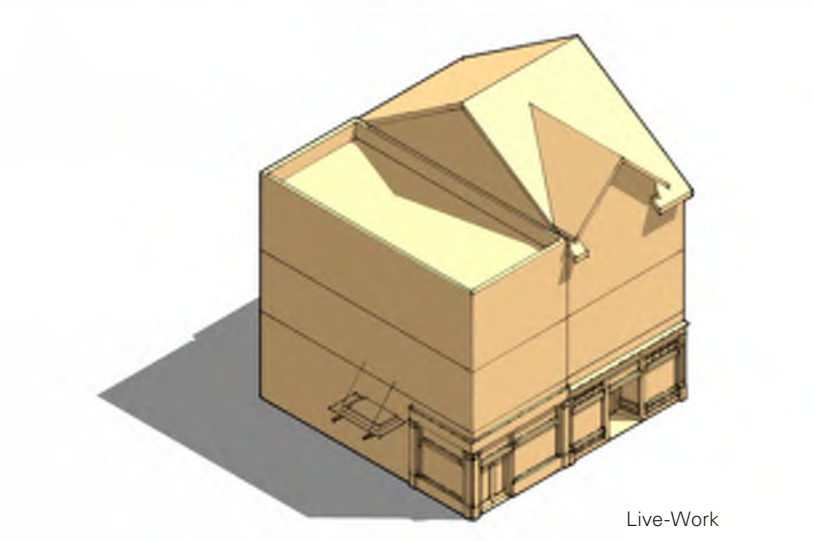
Cottage – New Construction, Prospect New Town, CO

TOWNHOUSE & LIVE-WORK

This page illustrates examples of new construction in new and existing neighborhoods. In all examples, note a consistent use of elements that suggest house-like characteristics, detailing and scale to create neighborhoods that feel residential.



Townhouse



Live-Work



Live-work – New Construction, Southlake, TX



Townhouse – New Construction, Daybreak, UT



Live-Work – New Construction, Charlotte, NC



Townhouse – New Construction, Baxter, NC



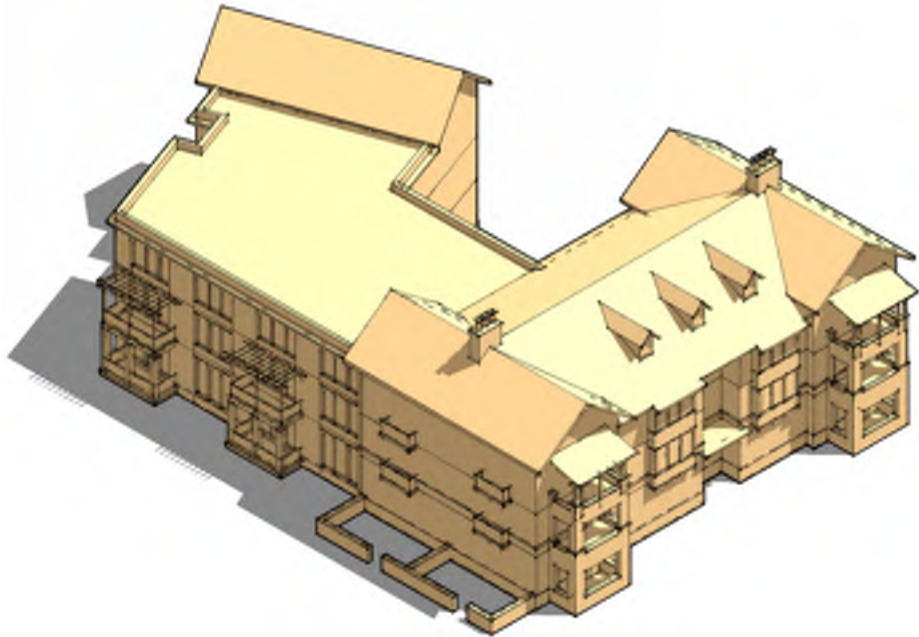
Townhouse – New Construction, Portsmouth, VA



Townhouse – New Construction, Westchester, NY

APARTMENT BUILDING

This page illustrates examples of new construction around the country. In all examples, notice the large windows, the rich detailing and unique stylistic characteristics on similar typologies.



New Construction – Washington, DC



New Construction – Providence, RI



Historic Renovation – Windsor, CT



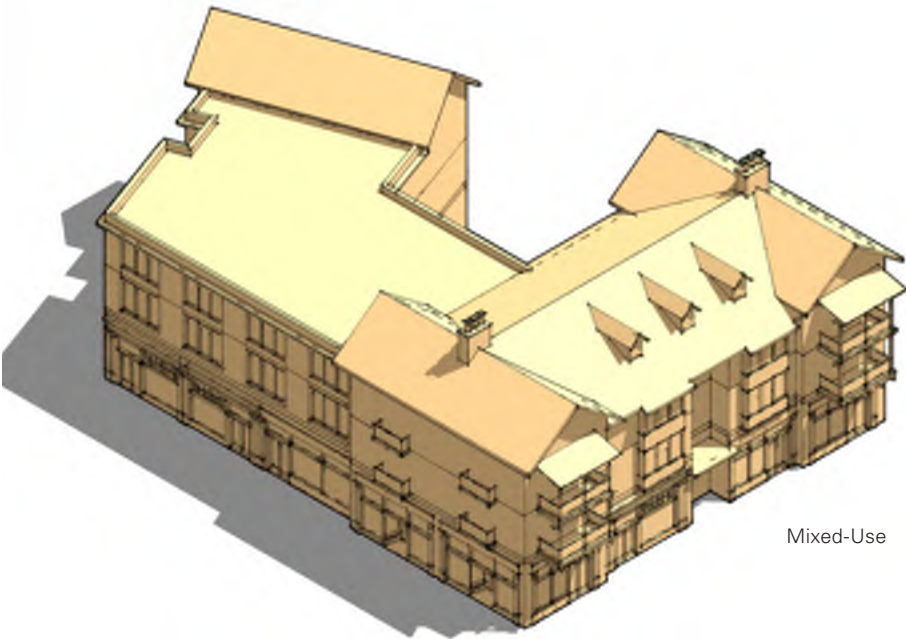
New Construction – Kentlands, MD



New Construction – Berkeley, CA

MIXED-USE & RETAIL BUILDING

This page illustrates a combination of examples of new construction and historic precedent that is applicable to practice today. Note the large windows, welcoming storefronts, and active public spaces around them.



Mixed-Use



Retail Building



Mixed-use – Historic Precedent, Providence RI



Mixed-use – New Construction, Orem, UT



Mixed-use – New Construction, Hanover, NH



Retail – New Construction, Baxter, SC



Mixed-use – New Construction, Southlake, TX



Retail – Historic Precedent, Stockbridge, MA



Mixed-use – New Construction



Retail – Historic Precedent, Providence, RI



Mixed-use – New Construction, Baxter, SC



Mixed-use – New Construction, Hanover, NH

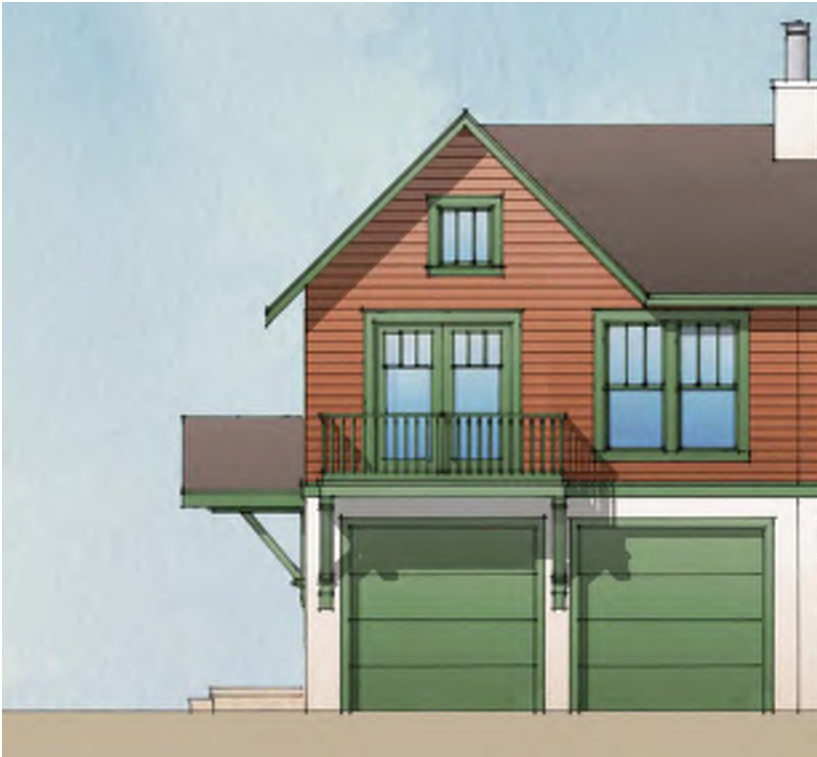


Mixed-use – New Construction, Charlotte, NC

Articulations

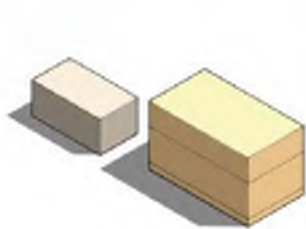
COTTAGE AND CARRIAGE HOUSE

All buildings should be designed such that the massing and form create variety, uniqueness and balance. Cottages are a very flexible unit types that can be arranged in countless ways with just minor repositioning of elements, thus creating many different buildings from one unit plan. A block elevation of cottage units should include a healthy mix of styles. Carriage units, when ganged in multiples, should be composed and detailed as one building.

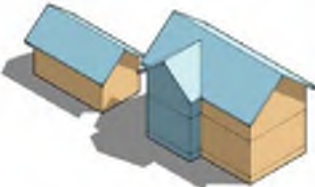


COTTAGE

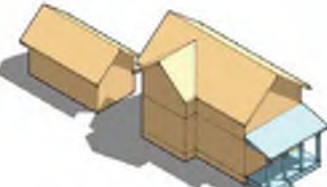
STEP 1: MAIN BODY



STEP 2: MASSING & ADDITIONS



STEP 3: PORCHES & ENTRY ELEMENTS



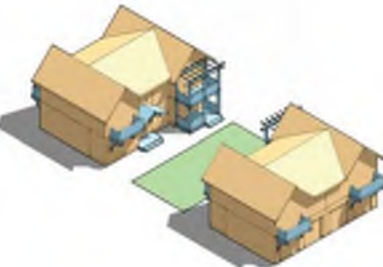
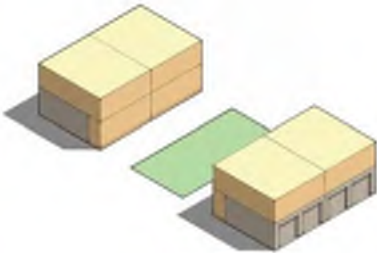
STEP 4: SPECIAL ELEMENTS, WINDOWS & DOORS



STEP 5: ELEVATION



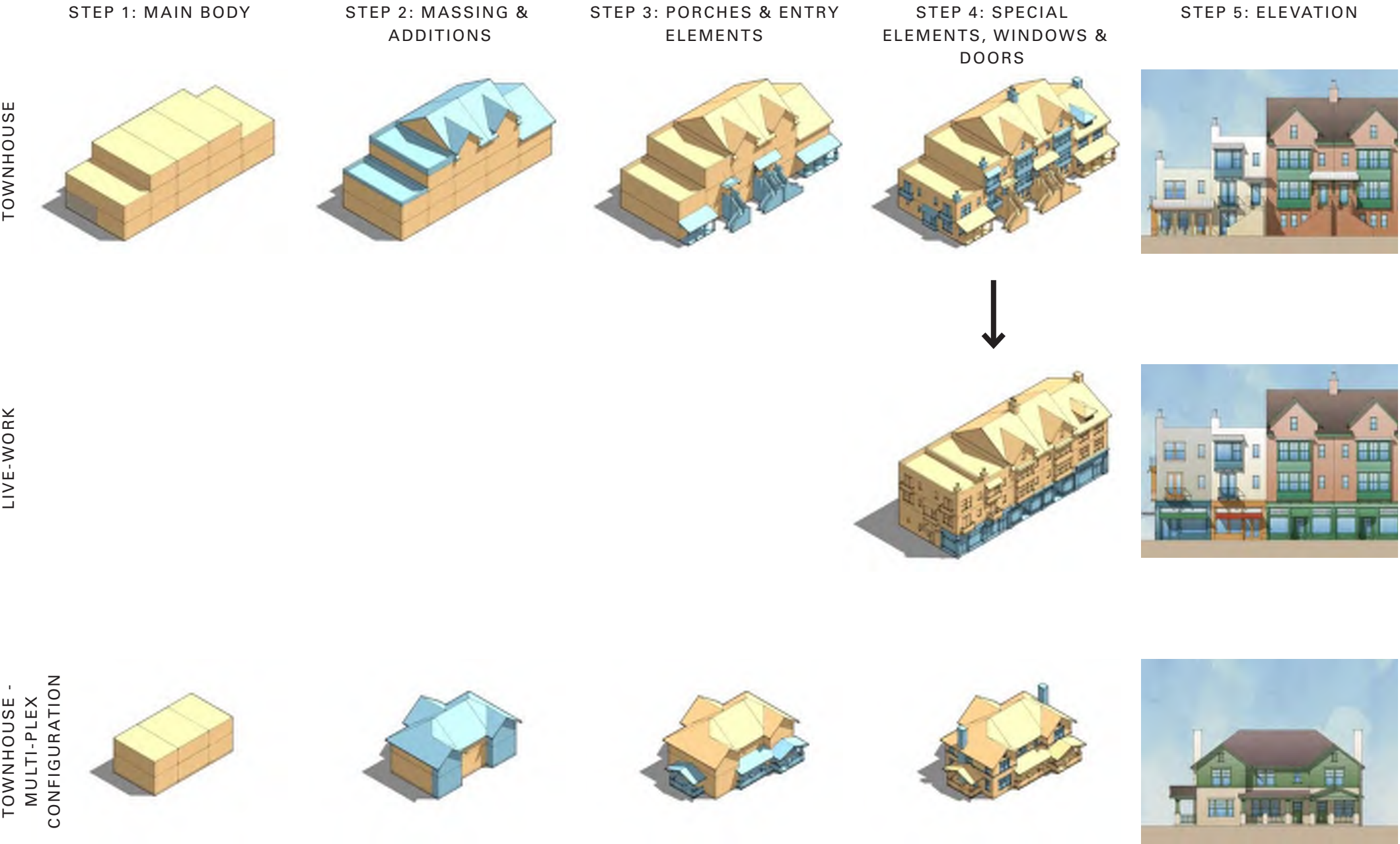
CARRIAGE



Articulations

TOWNHOUSE AND LIVE-WORK

All buildings should be designed such that the massing and form create variety, uniqueness and balance. Attached buildings such as Townhouses and Live-Work units should seek to provide individuality for each unit, while maintaining harmony for the whole building.



Articulations

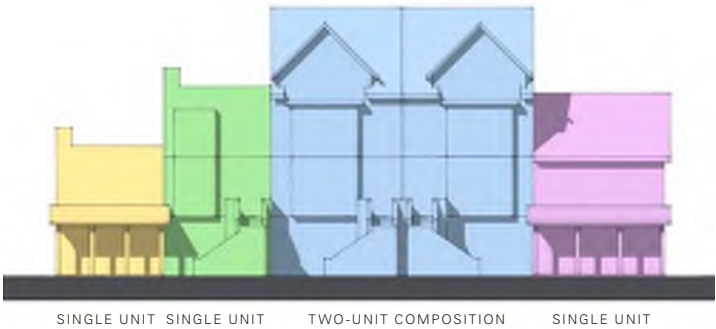
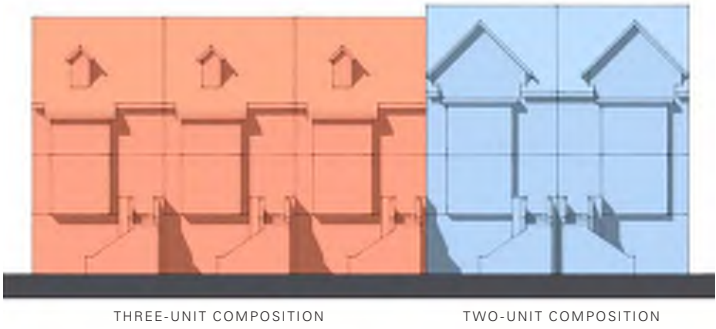
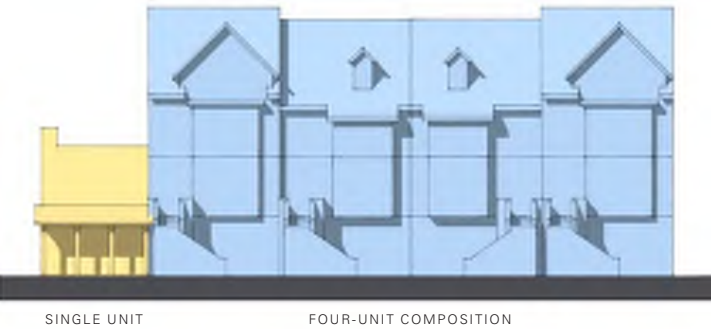
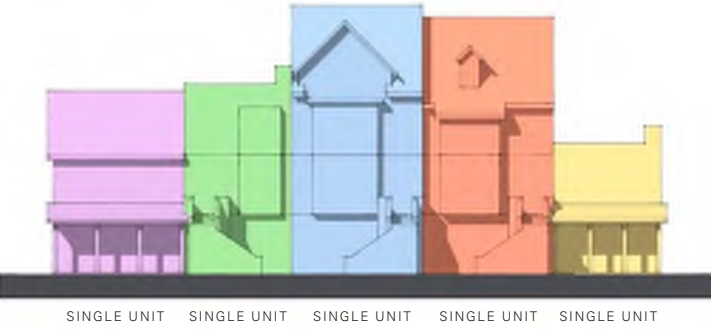
TOWNHOUSE AND LIVE-WORK ASSEMBLY AND SCRIPTING

In the design of neighborhoods of townhouses, there are critical placemaking characteristics. In the design of assemblies of groups of townhouses, repetition of the same unit of the style, can be detrimental to the feeling of a neighborhood that has developed over time. This sample scripting page illustrates these principles on a suite of five-unit townhouses. Generally, townhouses are designed in groups of two to six units at a time, but the principles remain the same.

In the design of a composition of townhouses, it is recommended to vary architectural style and unit cadence to read as buildings of varied width and style. These examples articulate moments of unit repetition of two- to four-units of a composed group of a similar unit type and/or style.

In the placement of units, the examples to the right also articulate two different approaches toward unit size and placement. This includes placement of the deepest and tallest units to the center or the ends of a composition.

A sample elevation shows the implementation of these principles in a five-unit building.



Sample Elevation

Articulations

APARTMENT AND MIXED-USE BUILDINGS

STEP 1: BASIC MASSING & PROGRAMMING DIAGRAM

Based on site constraints and program, establish a layout for the building. Pay particular attention to relationships to the Master Plan, including the orientation of dwelling units and the location of pedestrian entries.

STEP 2: ESTABLISH LOCATIONS FOR EMPHASIS

In consideration to the Master Plan, choose areas of the building that may require additional articulation. In this particular case, the location is the building corners.

STEP 3: ARTICULATED MASSING DIAGRAM

Articulate the location of units and at the same time, establish an architectural cadence for the building articulation.

STEP 4: DESIGN ROOFSCAPE

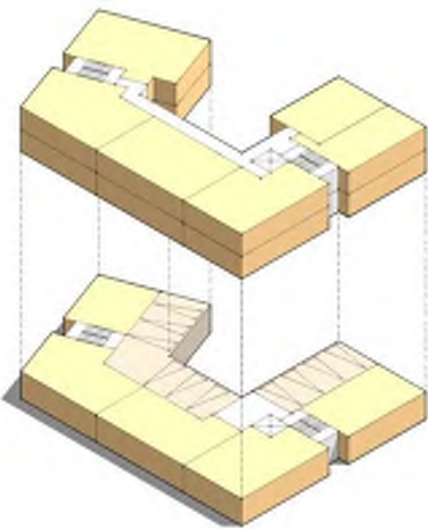
The roofscape is a critical component of the building skyline. In the case of a residential neighborhood, it is important that the roofscape includes residential roof forms in the scale of the neighborhood. These roof forms should be informed by the locations for emphasis described in Step 2, and the selected building style from the Architectural Patterns.

STEP 5A & 5B: ADD OUTDOOR SPACES AND SCALE ELEMENTS FOR ARTICULATION

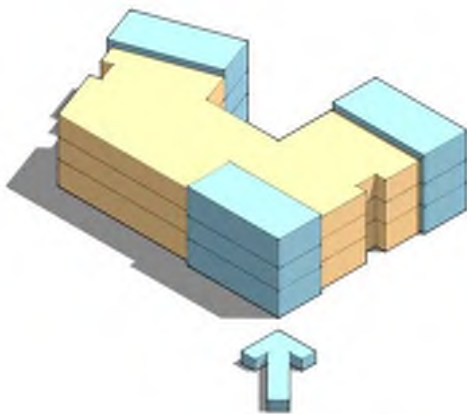
An important part of the creation of great neighborhood is the sense of human habitation. Note that care should be placed in creating simple, local symmetries that correspond with massing locations to create the feeling of an assembly of small buildings. In the case of Mixed-Use buildings, the ground floor should include storefronts that are resolved with the building above.

FINAL VISION:

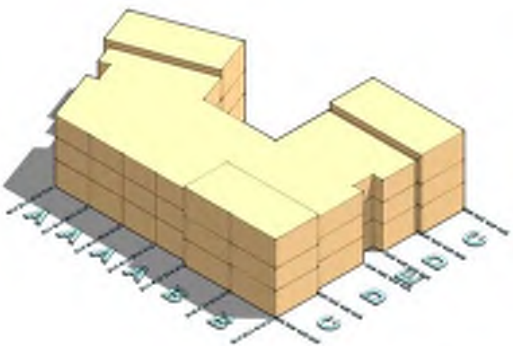
Add the windows, details from the Architectural Style section. In this case, the project is shown in Arts & Crafts, a popular building style in a building of this scale.



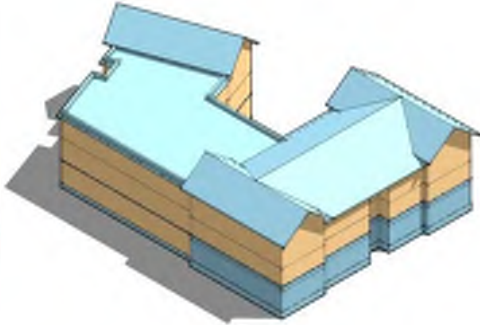
1. Basic Massing & Program Diagram



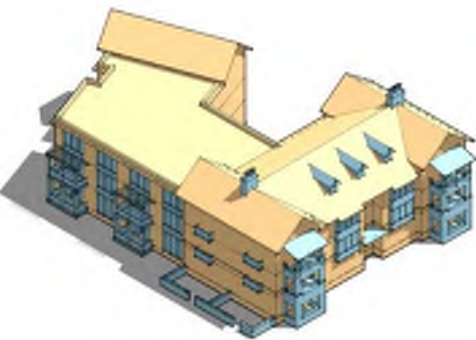
2. Establish Locations for Emphasis



3. Articulated Massing Diagram



4. Design Roofscape



5a. Add Outdoor Spaces and Scale Elements for Articulation



FINAL VISION – APARTMENT BUILDING



5b. Mixed-Use Condition: Add Outdoor Spaces and Scale Elements for Articulation



FINAL VISION – MIXED-USE BUILDING

Articulations

RETAIL BUILDINGS

STEP 1: BASIC MASSING DIAGRAM

Based on site constraints and program, establish a layout for the building. Pay particular attention to relationships to the Master Plan, including the orientation of dwelling units and the location of pedestrian entries.

STEP 2: ESTABLISH LOCATIONS FOR EMPHASIS

In consideration to the Master Plan, choose areas of the building that may require additional articulation. In this particular case, the location is the building corner.

STEP 3: ESTABLISH AN ARCHITECTURAL CADENCE

Articulate a system of bays for storefronts.

STEP 4: ARTICULATE THE ROOFSCAPE

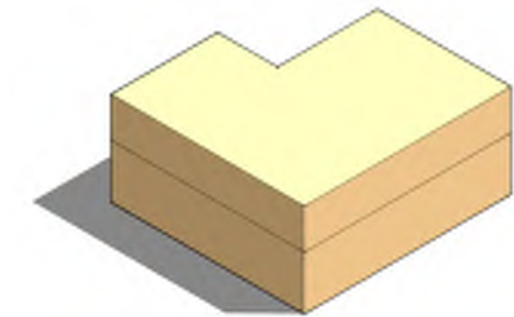
The roofscape is a critical component of the building character. In correspondence with the selected building style, create identifying features and elements.

STEP 5A & 5B: ARTICULATE BUILDING DESIGN

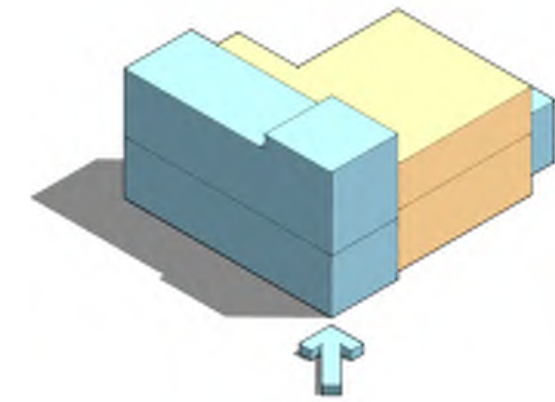
Great retail environments contain buildings with great transparency. Large openings, including windows and storefronts, are critical to success of the buildings occupant and the retail district. Screen windows from the harsh sun with appropriately design window shade devices that correspond to the building style.

FINAL VISION:

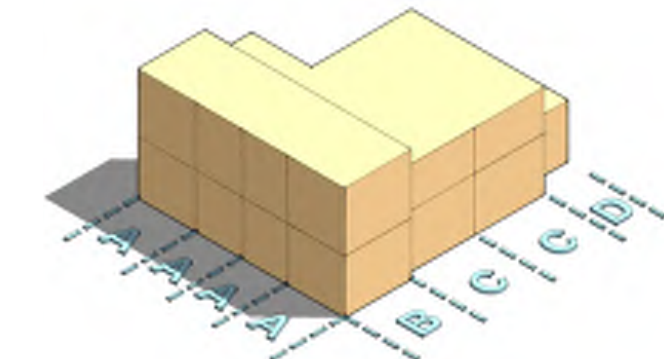
Add the windows, details from the Architectural Style section. In this case, the project is shown in Loft Industrial.



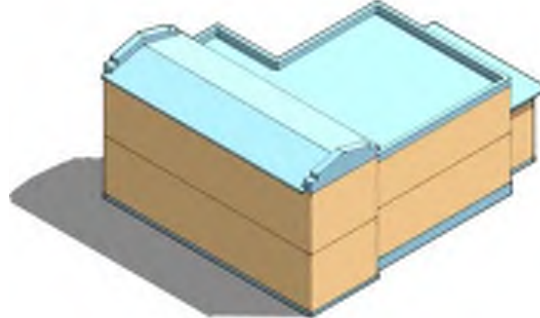
1. Articulated Massing Diagram



2. Establish Locations for Emphasis



3. Design Roofscape



4. Add Outdoor Spaces and Scale Elements for Articulation



5. Mixed-Use Condition: Add Outdoor Spaces and Scale Elements for Articulation



FINAL VISION – RETAIL BUILDING

Architectural Styles

A series of well-developed styles and architectural vocabularies were popular throughout the United States in the 19th and 20th Century. These styles were adapted by local builders through the use of early pattern books and later catalogs of house plans. In Ogden, many of the neighborhoods are comprised of a rich mix of remarkable examples of historic styles. In each house, they display characteristics of the national style but at the same time, remain rooted in Ogden through a regional interpretation of the style.

As a new neighborhood for Ogden, Ogden Bend will also incorporate a mix of styles. These styles are applicable to a variety of building types found in Ogden. Victorian and Arts & Crafts are common, national styles based on time-tested conventions. Transitional Modern combines traditional town-making prototypes and principles with large areas of glazing and modern detailing. Loft Mercantile draws from the industrial history, and local surviving building prototypes in new uses. Each style will be adapted to modern typologies and modern living.

VICTORIAN

- » Simple massing with additive elements to create variety
- » Asymmetrical facade compositions common
- » Moderate to steep roof pitches
- » Prominent porch elements
- » Delicate and ornate detailing
- » Vertical window and door proportions
- » Orderly, symmetrical relationship of windows

ARTS & CRAFTS

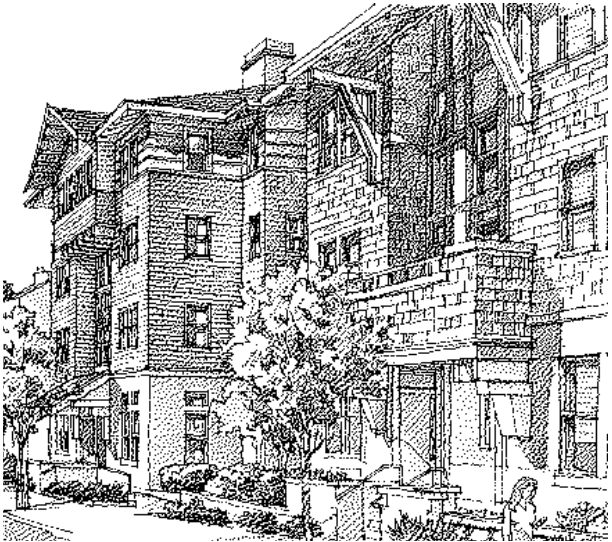
- » Shallow-pitched roofs with deep overhangs
- » Deep, broad porch elements with expressive structural components
- » Exposed structural elements in the eaves such as rafters and brackets
- » A mixture of materials such as brick, shingles, and siding
- » Asymmetrical window and door compositions
- » Grouped windows

TRANSITIONAL MODERN

- » Traditional architectural massing
- » Building design & programming orient to public spaces around it
- » Continuous flow of space between interior and exterior
- » Use of porches and clearly defined entrances
- » Expressive use of materials to highlight varied forms
- » Material use relates to climatic considerations and modern design aesthetic



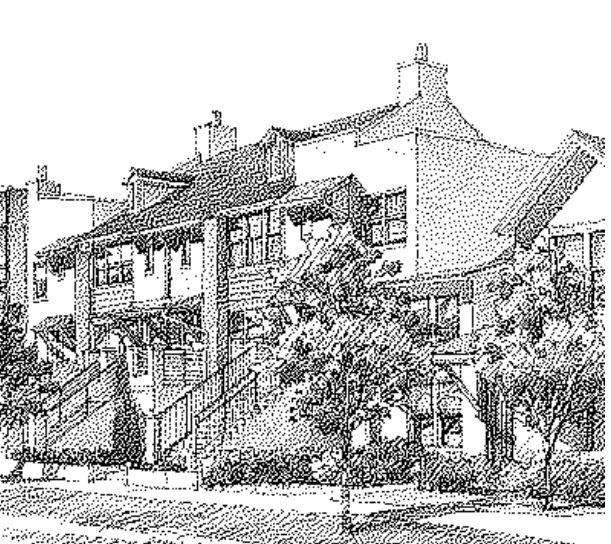
Victorian



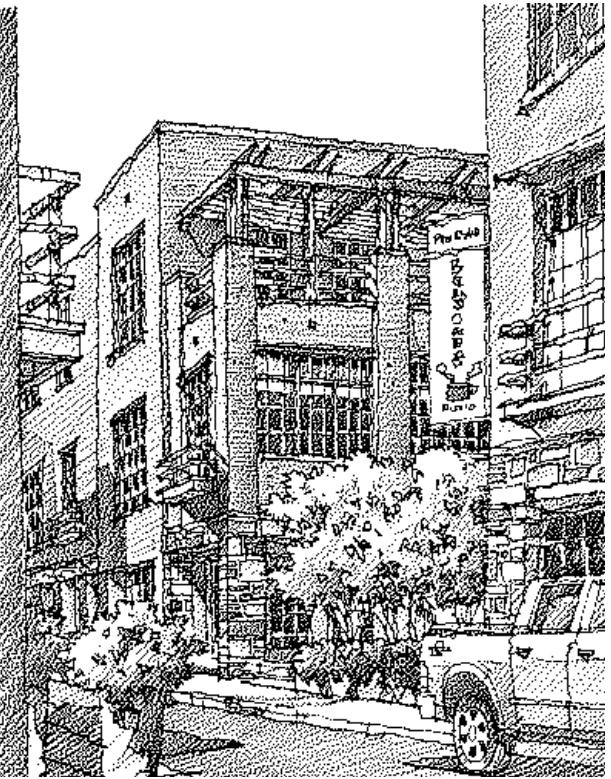
Arts & Crafts

LOFT MERCANTILE

- » Simple rectangular volumes, usually three to four stories tall
- » Regular pattern of simple windows
- » Facades are composed of repetitive elements that express the structural grid
- » Simple details
- » Masonry materials
- » Storefronts may be one-story in height, and create a composition in alignment with those windows above



Transitional Modern



Loft Mercantile

Victorian

The Victorian style achieved widespread popularity in the United States in the mid-1800s. Named for the last decades of the reign of Queen Victoria in England, the style was readily accessible to many home builders as a result of pattern books that provided drawings of these early house designs, making it easier for the builders of both country estates and modest dwellings to adopt the style. While the style initially became fashionable in the East, it spread into this region with the initial settlers in the 1850s.

Dramatic changes in construction techniques (mass production for example) and railroad shipping (which allowed construction materials to move more easily around the country at low cost) contributed to the broad appeal and proliferation of the Victorian style. The evolution in construction techniques also allowed for greater expression in both the massing and details of Victorian style houses and commercial buildings.

The Ogden Bend Victorian is centered on the simple, elegant forms that were adapted to houses in the smaller towns and the rural farmhouse and western town centers. The massing forms are quite simple, and the ornamentation is restrained and typically limited to the porches, entries and cornices.

Key Elements of the Victorian Style

- » Simple massing with additive elements to create variety
- » Asymmetrical facade compositions common
- » Moderate to steep roof pitches
- » Prominent porches and porch elements
- » Delicate and ornate detailing
- » Vertical window and door proportions
- » Orderly, symmetrical relationship of windows



Small Residential Types

FACADE COMPOSITION

- » Often broken into 3- or 5-part compositions which helps to emphasize verticality of the style
- » Asymmetrical compositions provide opportunity for unique special elements
- » Sliders may not be used where they are visible from public thoroughfares.
- » Alignment of window and door head is recommended.

WINDOWS & BAYS

- » Typically double-hung type, set deep for shadow; traditional trim profiles are recommended.
- » Typical gridded pane configurations include 1-over-1, 2-over-1, 2-over-2, 4-over-4; with vertical proportions.
- » External 3/4-inch-wide projecting muntin bars are recommended.
- » Typically, individual units shall have the same window design throughout, with the exception of special windows in hierarchical positions such as the gable, dormers, and/or bay windows.
- » Windows are similar in design and proportion to main facade windows
- » One- or two-window compositions are common

DOORS

- » 6'-8", 7'-0", 8'-0" head heights, typically.
- » Often, glass is incorporated in exterior front doors in a combination of glass panels, sidelights and transom windows.
- » Painted or stained wood; aesthetic equivalent acceptable



Cottage Carriage House Townhouse Live-Work

FACADE COMPOSITION



Townhouses

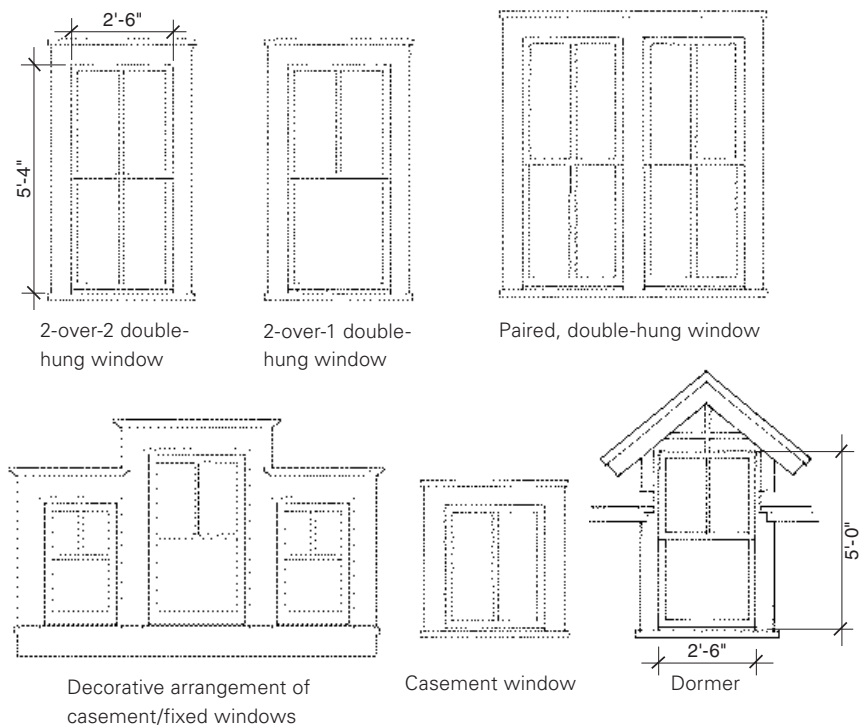


Carriage Houses

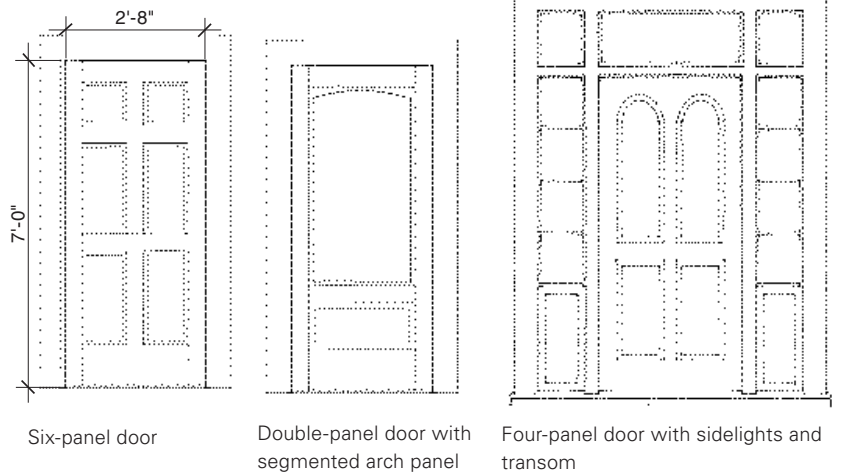


Cottages

WINDOWS & DORMERS



DOORS



Small Residential Types

EAVES

- » Eave returns on gable elevations are typical, use low profile metal flashing on top of return.
- » Raking eaves may have an over-sized, decorative board at the gable end.
- » Boxed eaves can have profiled brackets at 24 inches on center and grouped at corners.
- » Materials: smooth exterior plywood, smooth fiber-cement board, Tongue and groove planks in wood, PVC, or similar

PORCHES

- » Design of eave details must be equal to, or of higher quality than the eaves of the main body roof.
- » Porch columns should be spaced to create vertical proportions in between columns.
- » Materials: Columns may be fiberglass, polymer, or wood. Straight or turned wood balusters; solid rails clad in wood, cut shingle, siding, or brick are permitted.



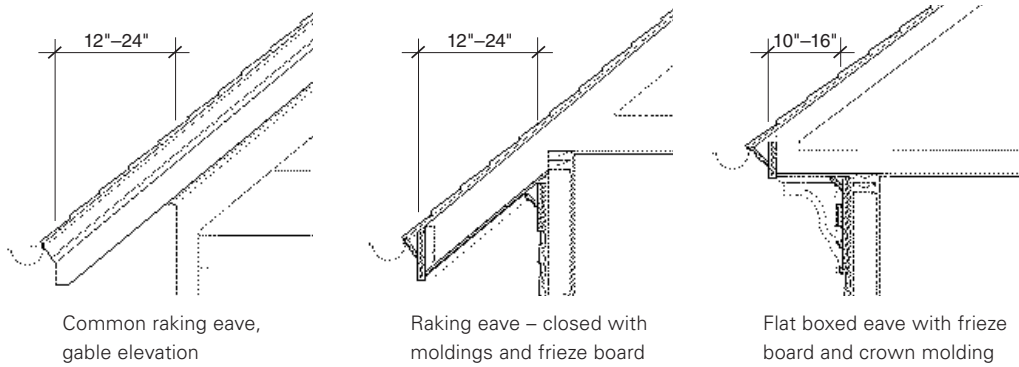
ROOF

- » Typical pitches of 8/12 to 16/12.
- » Materials: Dimensioned architectural grade asphalt or fiber-glass shingles; Metal, narrow standing seam or 5-V panels, metal finish or painted; slate or synthetic slate.

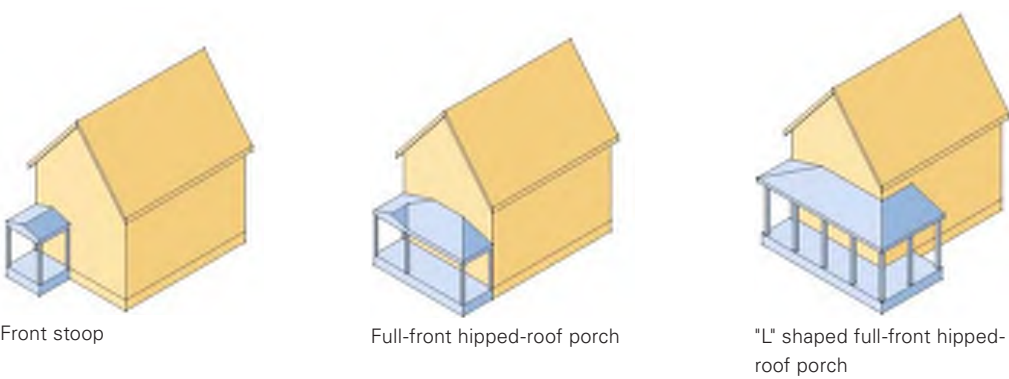
CLADDING

- » Consistent on all facades of primary mass. Exceptions include: secondary masses (wings) gables, dormers, and garages
- » Materials: Siding is to be hard cement board (with 8- to 10-inch-wide skirt boards); shingles, brick, or stucco (as an accent to brick)

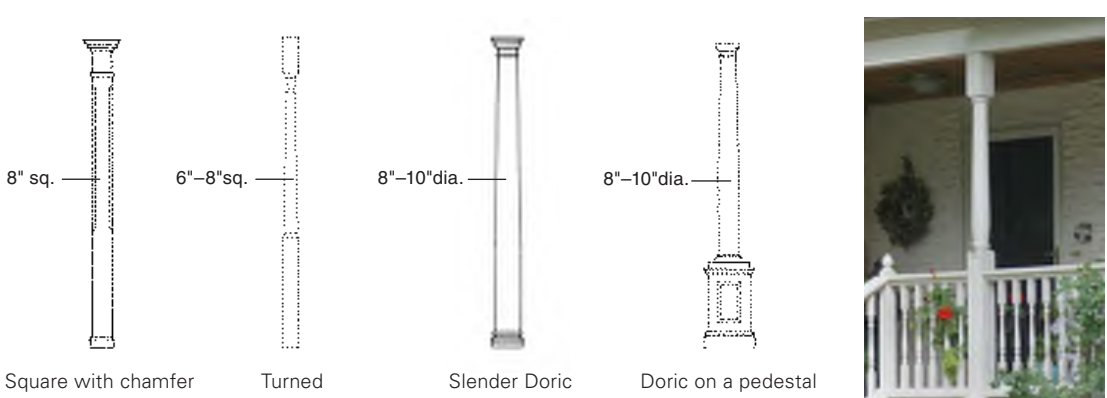
EAVES



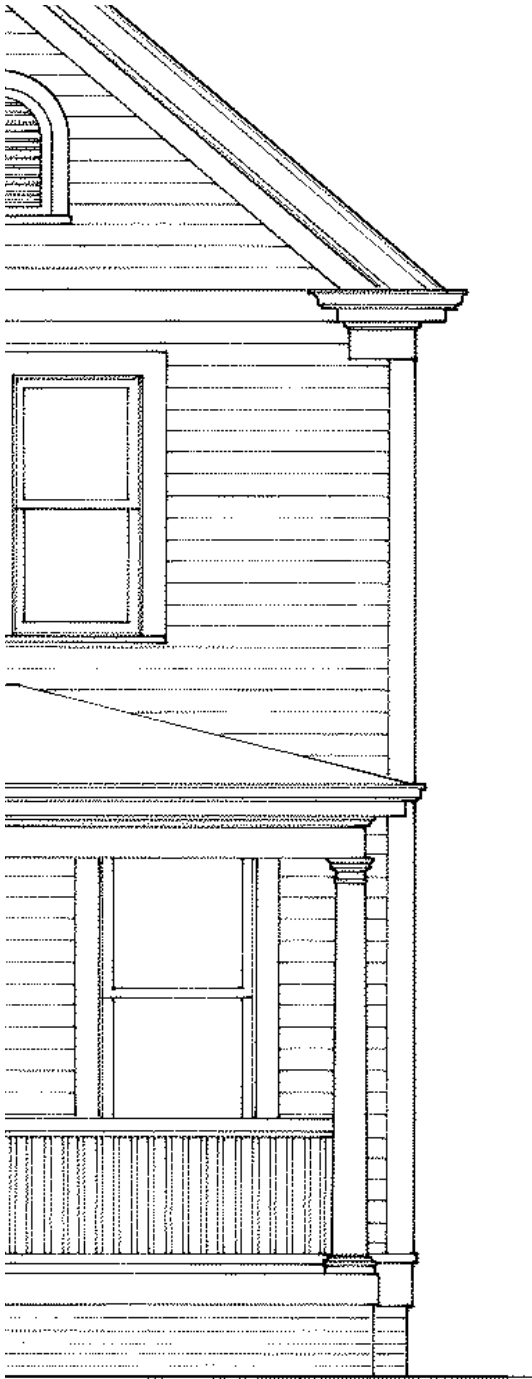
PORCH COMPOSITION



PORCH COLUMNS



PARTIAL ELEVATION



Large Residential & Commercial Types

MASSING

- » Front facades are designed as parapet wall fronts with some form of cornice expression, or as pitched roofs.
- » Articulated cornice using brackets, paneling, and shaped moldings, or the top may be defined using cut or cast stone elements and accent brickwork.
- » Massing is typically a two- or three-story building with a tall ground floor and vertical proportions.

FACADE COMPOSITION

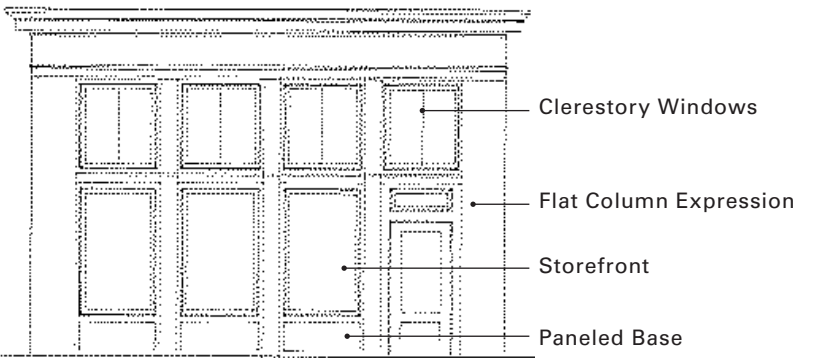
- » Composed into three and four bay compositions; five or six bay composition for larger buildings
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.
- » Variation of building height to neighboring buildings is recommended.



WINDOWS AND STOREFRONTS

- » Standard windows are double hung with a one-over-one pattern or two-over-two pattern of divided lights. Storefronts are predominantly large panes of glass, often with transoms above.
- » Ground-floor retail spaces have a recommended minimum clearance of 12 feet from floor-to-ceiling.
- » Storefront design must utilize the full height of the ground-floor facade frontage.
- » Typically the storefront will have a deep entablature/cornice expression above the shopfront that serves as an area for signs.
- » Design facade for maximum transparency

STOREFRONTS



CORNICE ELEMENTS



Cornice with ornate brick molding



Cornice with traditional bracket detail



MIDDLE ELEMENTS



Simple windows in a brick facade



Window with ornate brick and stone lintel and brick string course



BASE ELEMENTS



Arts & Crafts

Arts & Crafts houses, derived from the traditions of Bungalow design, gained widespread popularity in the United States in the 1920s. This movement was influenced by the revival and interest in a return to unique crafting of furniture, housewares, and everyday objects, as well as painting and sculpture in England at the end of the nineteenth century. Architecture was influenced by a more natural and expressive use of materials and forms. This enduring style flourished in the early twentieth century, especially in the design of modest cottages. The movement was centered in California and the West Coast as builders used pattern books and mass-marketed house plans and packages to attract a broad spectrum of homebuyers. These can be seen in the traditional neighborhoods of the Salt Lake City Valley and Ogden.

The Arts & Crafts house is characterized by broad open porches, low sloping roofs with deep overhangs, asymmetric window and door compositions, expressive trim, exposed rafters, and bracketed porches. The popularity of the style expanded to large apartment and mixed-use buildings. These common western buildings are inspired by the expressive eaves, organic ornamentation, and earth-tone color palette.



- Key Elements of the Arts & Crafts Style
- » Shallow-pitched roofs with deep overhangs
 - » Deep, broad porch elements with expressive structural components
 - » Exposed structural elements in the eaves such as rafters and brackets
 - » A mixture of materials such as brick, shingles, and siding
 - » Asymmetrical window and door compositions
 - » Grouped windows



Small Residential Types

FACADE COMPOSITION

- » Often broken into 2- or 3-part bays to emphasize a horizontal proportions.
- » Local symmetries based around strong elements such as heavy porches or wide bay projections
- » Often, first-floor windows are larger than second floor windows.
- » Sliders may not be used where they are visible from public thoroughfares.

WINDOWS, BAYS, & DORMERS

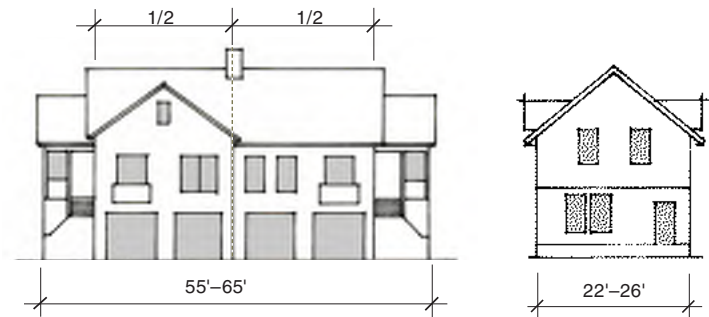
- » Casement and double-hung windows should be set deep for shadow; use traditional profiles.
- » Typical gridded pane configurations include: 4-over-1, 4-over-4, 6-over-1, 6-over-6 with vertical proportions or 3-or 4-vertical planes over-1
- » Profiled muntin bars between panes are recommended.
- » Most often, houses have the same window design throughout, with the exception of special windows in hierarchical positions such as the gable, dormers, and/or bay windows.



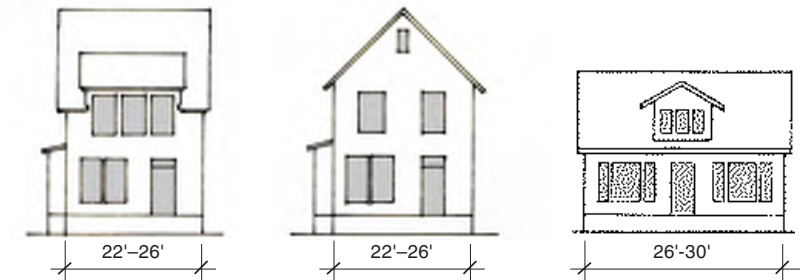
FACADE COMPOSITION



Townhouses

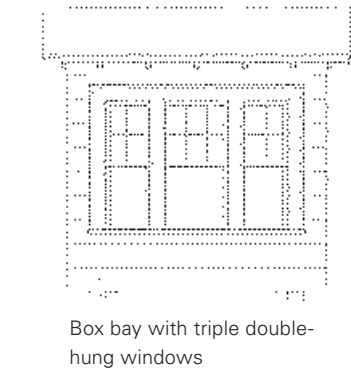
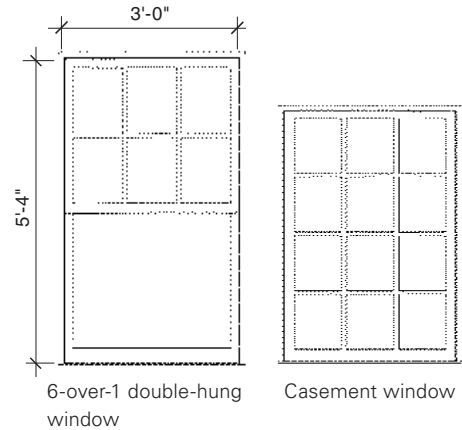


Carriage Houses

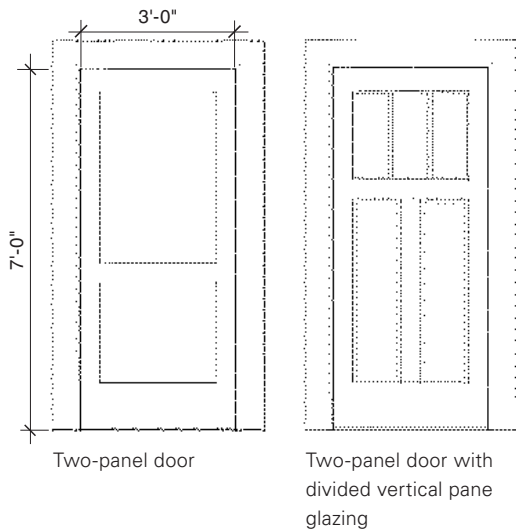


Cottages

WINDOWS, BAYS & DORMERS



DOORS



Small Residential Types

EAVES

- » Deep eaves are a dominant characteristic.
- » Open eaves typically have a 2x6-inch or 2x8-inch shaped rafter tail 16 to 24 inches on center. Gables feature deeper rake boards.
- » Boxed eaves often have profiled outriggers or brackets at 24 inches on center.

PORCHES

- » Design of eave details must be equal to, or of higher quality than the eaves of the main body roof.
- » Columns may be fiberglass, polymer, or wood.
- » Straight or turned wood balusters; solid rails clad in wood, cut shingle, siding, or brick permitted

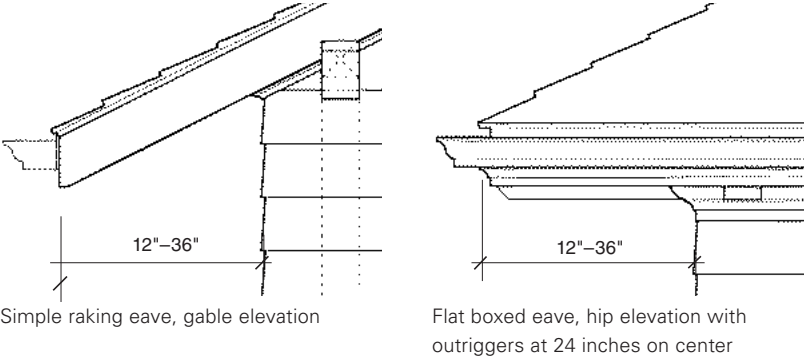
ROOF

- » Dimensioned architectural grade asphalt or fiberglass shingles
- » Metal, narrow standing seam or 5-V panels, metal finish or painted
- » Slate or synthetic slate cladding

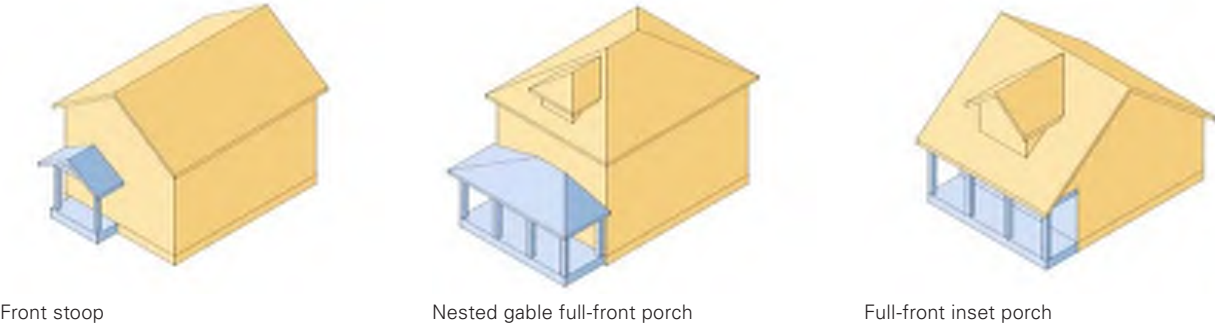
CLADDING

- » Cladding should be consistent on all facades of primary mass. Exceptions include: gables, dormers, and garages.
- » Often, the top floor material is an alternate material or cladding pattern from the building base.
- » Materials: Siding is to be hard cement board (with 8- to 10-inch-wide skirt boards); shingles, brick, or stucco as an accent to brick; if stucco is preferred for wall material, cast stone or brick sills are required

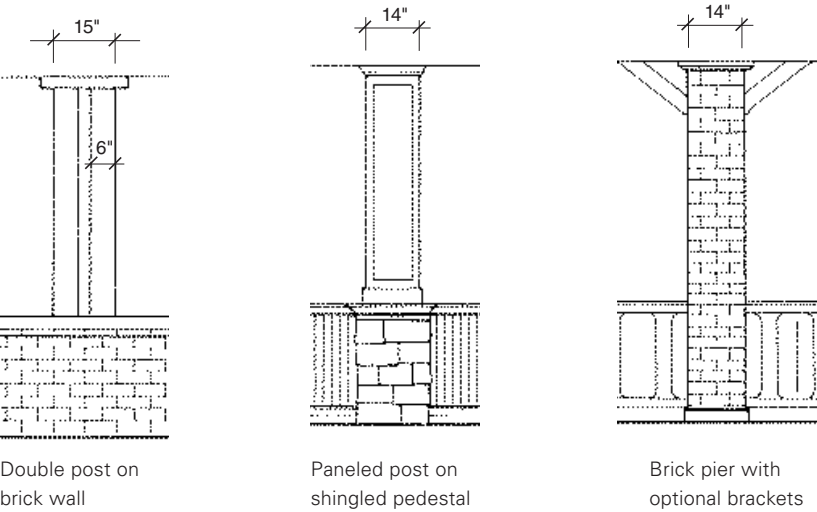
EAVES



PORCH COMPOSITION



PORCH COLUMNS



PARTIAL ELEVATION



Large Residential & Commercial Types

MASSING

- » Facades will have a variety of forms and compositions.
- » Front facades are designed as parapet wall fronts with some form of cornice expression, or as pitched roofs.
- » The parapet may be continuous with either an articulated cornice using brackets, paneling, and shaped moldings, or the top may be defined using cut or cast stone elements and accent brickwork.
- » Massing is typically a two- to four-story building with a tall ground floor and more vertical proportions.

FACADE COMPOSITION

- » Typically, these buildings will have three- to four-bay door and window compositions.
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.

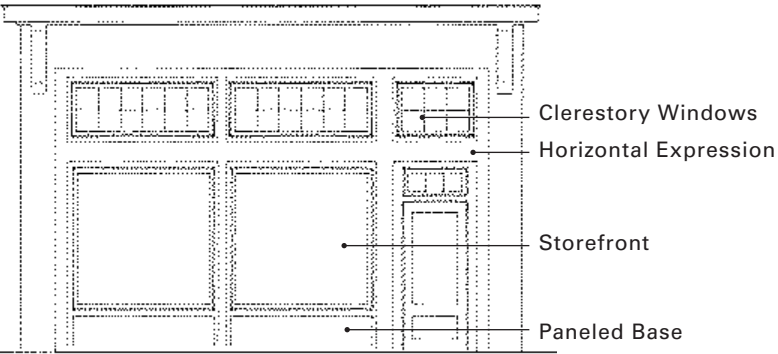


- » Larger buildings may have five- or six-bay compositions above the ground floor with varying storefront treatments on the ground floor.

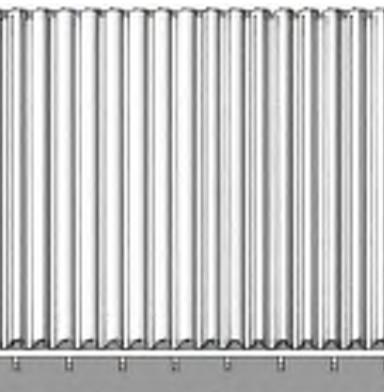
WINDOWS AND STOREFRONTS

- » Windows above the ground floor are typically grouped, and vertical in proportion. Storefronts are predominantly large panes of glass, often with transoms above.
- » Precast lintels or articulated window heads are common over windows set in masonry walls.
- » Storefronts on the ground floor are typically designed using millwork shapes of round or square columns to trim large shopfront windows with a glass panel entrance door centered in between two shopfront windows or off to one side.
- » The entrance door should be recessed into the storefront to prevent the door from opening into the sidewalk.

STOREFRONTS



CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



Transitional Modern

In the 20th century, many advocates of the Modern movement called for a break with the past and for the invention of new forms and details that would create the vision of a new world. However, many of today’s architects recognize the importance of time-tested principles in the creation of new neighborhoods. This style intersects a broad palette of influences from traditional styles with modern, local architectural practice. Together it represents a distinctive feel of Northern Utah.

This section is developed from three important characteristics. The first is to provide buildings that contribute to the character and quality of the public space. Elements such as porches, windows, and clearly defined entrances facing the street are critical. The second is the creation of strong connections between the interior and the exterior. Large openings of glass and doors that can be opened up, are critical to the implementation of this concept. The third is to follow the principles of green design, which include shading devices, passive solar design, the use of overhangs, trellises, and porches, as well as providing proper orientation to the sun. In this case, details may incorporate playful, modern sensibilities.



Key Elements Of The Transitional Modern Style

- » Traditional architectural massing
- » Building design & programming orient to public spaces around it
- » Continuous flow of space between interior and exterior
- » Use of porches and clearly defined entrances
- » Expressive use of materials to highlight varied forms
- » Material use relates to climatic considerations and modern design aesthetic



Small Residential Types

FACADE COMPOSITION

- » May be broken into bays to emphasize a vertical elements
- » Local symmetries based around strong elements such as heavy porches or wide bay projections

WINDOWS, BAYS, & DORMERS

- » Repetitive compositions of the same may be set in contrast to hierarchical windows of an alternate type.
- » Corner windows may be used.
- » Combinations of picture, case-ment and double-hung windows may be composed together.
- » Windows should be set deep for shadow; use traditional profiles.
- » Typical gridded pane configurations of Victorian and Arts and Crafts may be used.
- » Profiled muntin bars between panes are acceptable. External 1-inch-wide or more projecting muntin bars preferred.



Townhouse Live-Work

- » Sliders may not be used where they are visible from public thoroughfares.
- » Align window head with door heads.

DOORS

- » Typically 6'-8", 7'-0", 8'-0" heights
- » Often, glass is incorporated in exterior front doors.
- » Painted or stained wood; aesthetic equivalent acceptable
- » Building entrances may be emphasized or de-emphasized, depending on building typology

BALCONIES

- » May be treated as integral or additive elements
- » Walls, railings provide opportunity for material varieties

FACADE COMPOSITION



Townhouses

WINDOWS



DOORS



Eric Schramm Photography

BALCONIES



Eric Schramm Photography

Small Residential Types

EAVES

- » Open or closed eaves are permitted. Detailing shall be simple and elemental.
- » Open eaves typically have a 2x6-inch or 2x8-inch straight cut rafter tail 16 to 24 inches on center.

PORCHES

- » Exposed rafters and structural members is strongly encouraged.
- » Columns may be metal, fiberglass, polymer, or wood.
- » Straightforward simple detailing is required.

ROOF MATERIAL

- » Dimensioned architectural grade asphalt or fiberglass shingles
- » Metal, narrow standing seam or 5-V panels, metal finish or painted
- » Slate or synthetic slate cladding

CLADDING

- » Cladding should be consistent on to each facade or additive element, or building story. Thoughtful compositions of siding materials is encouraged.

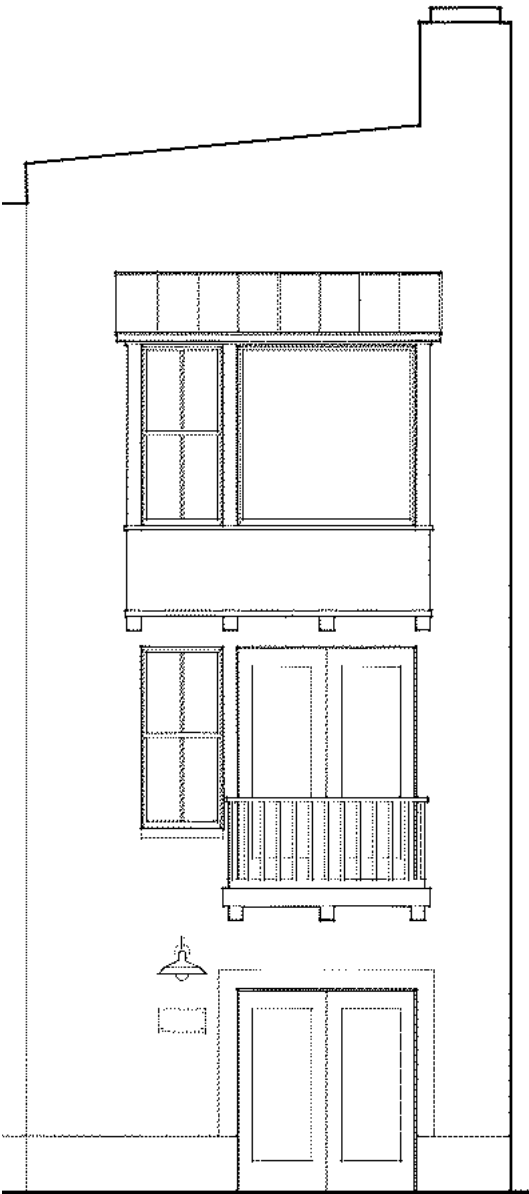
EAVES



PORCH ELEMENTS



PARTIAL ELEVATION



Townhouse Live-Work

Large Residential & Commercial Types

MASSING

- » Streets and public spaces should use high-quality materials.
- » Massing is typically a two- or three-story building with a tall ground floor and more vertical proportions.

FACADE COMPOSITION

- » Facades will have a variety of forms and compositions.
- » Picturesque, asymmetrical compositions are recommended.
- » Larger buildings may have five- or six-bay compositions above the ground floor with varying storefront treatments on the ground floor.
- » In mixed-use buildings, a ground floor use is expressed as a unique, single storefront composition. These are then attached to form a streetscape.



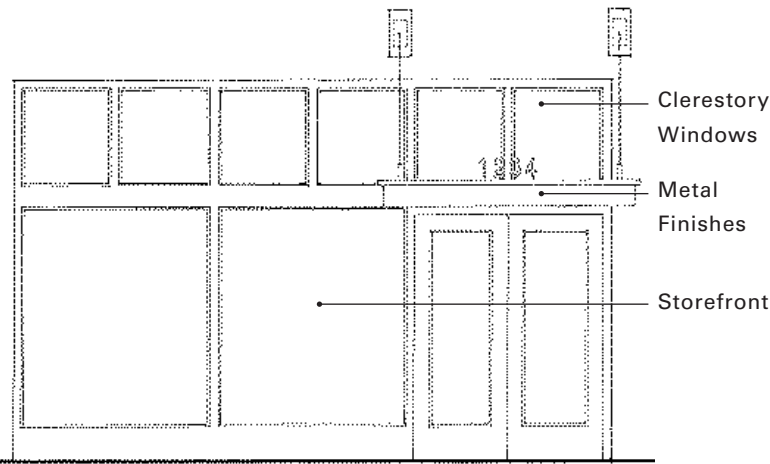
WINDOWS AND STOREFRONTS

- » Windows above the ground floor are typically vertical in proportion. Storefronts are predominantly large panes of glass, often with transoms above.
- » Storefronts shall incorporate the spirit of traditional storefronts with rich materials and high transparency.
- » The entrance door should be recessed into the storefront to prevent the door from opening into the sidewalk.
- » Typically the storefront will have a deep entablature/cornice expression above the shopfront for signage.

CLADDING

- » Cladding should be consistent on to each facade or additive element, or building story. Thoughtful compositions of siding materials is encouraged.

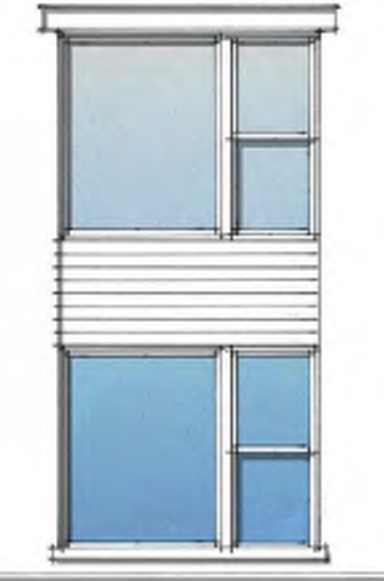
STOREFRONTS



CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



Loft Mercantile

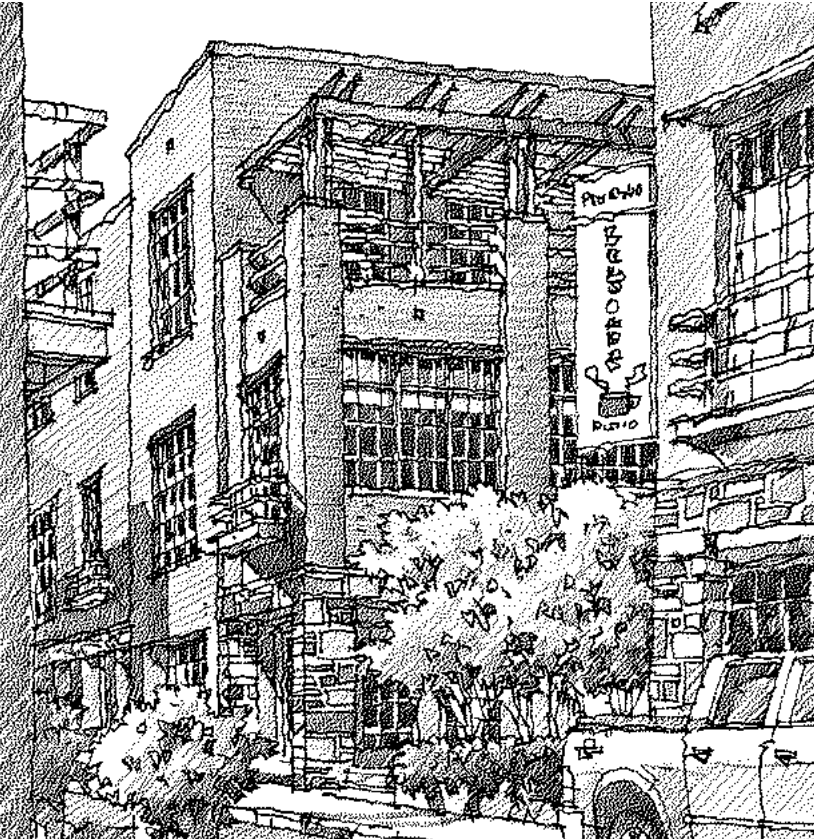
Ogden has a remarkable collection of historic industrial Buildings that are being recycled for new, active uses. Historically, this flexible building type developed to service a robust, regional manufacturing business that required close proximity to the busy transcontinental railroad system. Today, these structures remain excellent candidates for adaptive reuse to keep Ogden’s past alive into the future.

These buildings are typically of simple, rectangular masses At times, and in the case of American Can, the project may be a ‘campus’ of rectangular buildings that together, make remarkable, picturesque spaces in between.

In the construction of new buildings, they can be composed in configurations of one- to four-stories in height with facades in a regular pattern of windows above the ground level. The window bays are either punched openings into the masonry wall, or large window between spandrels. Vertical piers, either load-bearing or compositional, extend from the roof to the ground. Window glazing is often designed to be as large as possible.



- Key Elements of the Loft Mercantile Style
- » Simple rectangular volumes, usually three to four stories tall
 - » Regular pattern of simple windows
 - » Facades are composed of repetitive elements that express the structural grid
 - » Simple details
 - » Masonry materials
 - » Storefronts may be one-story in height, and create a composition in alignment with those windows above
 - » In a collection of buildings, arranged to make spaces between



Large Residential & Commercial Types

MASSING

- » Loft Buildings are large rectangular masses, often wider than they are tall. With large floor plates, they are well suited for office uses.
- » Spaces between the buildings are often picturesque assemblies of buildings.

FACADE COMPOSITION

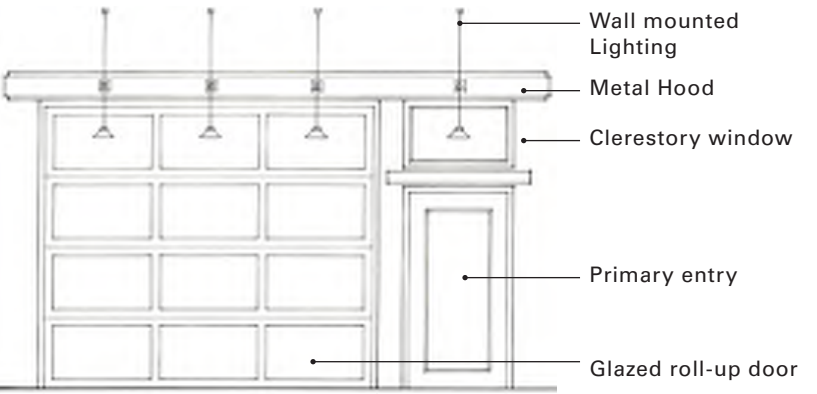
- » The middle floors have a consistent pattern of windows within a masonry frame.
- » The top floor of the building may have a different pattern of windows, different masonry color, and a distinguishing parapet.
- » The ground floors may be designed with shop fronts. These storefronts are vertically proportioned into bays corresponding to the rhythm of windows above and are articulated as columns or piers supporting lintels.



STOREFRONTS

- » Loft Building storefronts may be composed in a manner independent of the structural columns of the building.
- » Relationships between the bay and spandrel system and the first-floor storefront may remain subtle as long as the facade reflects the proper proportional composition.
- » Large areas of glass should be the dominant element of these storefronts with large display windows becoming an integral part of the facade.
- » Display window sills shall be no higher than 30 inches and no lower than 4 inches above the sidewalk.

STOREFRONTS



CORNICE ELEMENTS



MIDDLE ELEMENTS



BASE ELEMENTS



Landscape Patterns

THE CAREFUL DESIGN AND maintenance of public open space and lot landscaping is a key design element to creating beautiful neighborhoods. Both public open space and landscaping on building lots should adhere to the following key principles.

- » **Open Space** should enhance a neighborhood aesthetically, functionally and socially. Art installations, both interactive and static, are a recommended ingredient to achieving this goal.
- » **Parks** should be centrally located for easy access by foot, which naturally makes them an inviting and social place.
- » **Trails** or greenways should be interwoven into neighborhoods in order to complete and connect to existing systems.
- » **Parks** should be defined and designed as either active (playgrounds, ball fields) or Passive (flower gardens, community garden plots)
- » **Landscape planting** should be appropriate to the climate and use of area; and design should contribute to four important sustainability goals:
 - 1 reduce water runoff by using permeable paving surfaces and creating natural catchment areas or rain gardens
 - 2 plant native and water-wise species
 - 3 plant shade trees to reduce heat island effect
 - 4 conserve water through drip and zoned irrigation systems
- » **Lawns**, although permissible, are encouraged to compliment landscape planting areas and not be dominant ground coverage.



Neighborhood Landscape Character



Picnic area



Multi-purpose walkways



Green space fronted by buildings



Playgrounds



Green residential courts



Water-based activities



Performance spaces of all kinds



Bike paths



Community gardens



Neighborhood square



Multi-purpose court

Open Space Elements



Stormwater retention features can be well designed and use local materials.



Porous paving surfaces reduce water runoff



Public open space combines landscape, hardscape, lighting



Safe areas for playgrounds is important to families



Brick pavers, when installed properly, can last as long as concrete and are also ADA compliant



Intimate gathering spaces should be mixed with larger spaces to invite more users



Consistent use of the same public space furniture makes for more orderly environment



Boardwalks help protect natural resources



Bike racks promote use of an alternate mode of transportation



Sustainable stormwater streetscapes include rain channels, planted verges, and porous paving



Hedgerows serve to define private space from public space, especially in townhouse mews (garden) locations



A variety of landscape palettes should be used to define open spaces



Small playgrounds or tot lots should be located within a residential address



Appendix

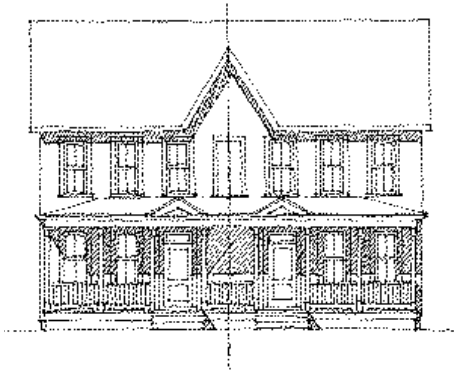
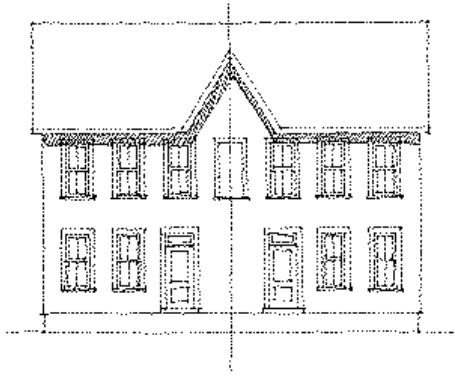
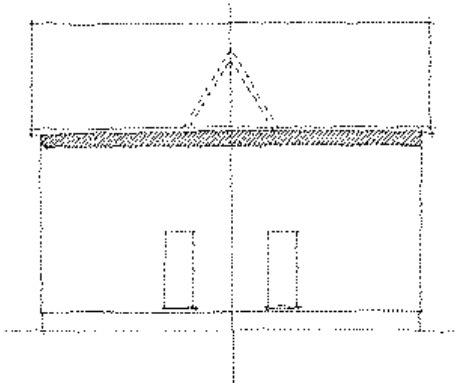
Step-by-Step Transformation: Townhouse Two-Unit Composition

An Example of a Transformation of a Typical House Design

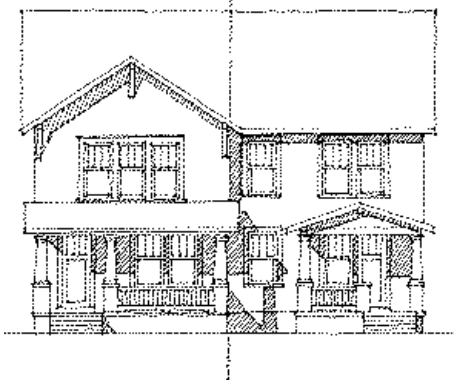
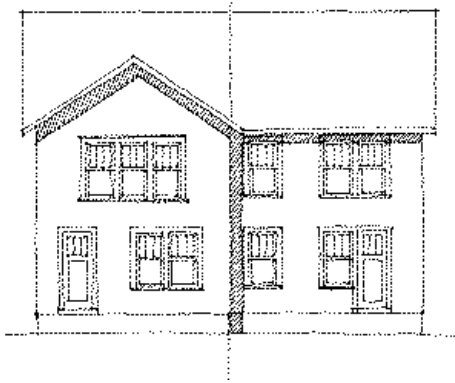
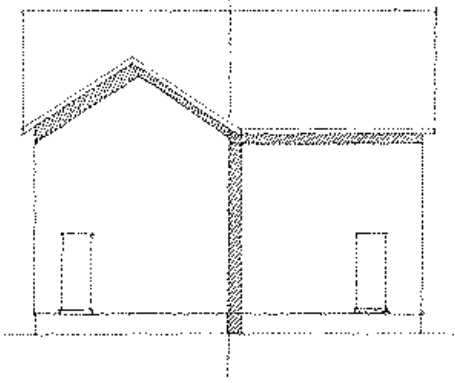
Note: These principles can apply to two- or three-story townhouses typically found in the Salt Lake City region.



OPTION 1: VICTORIAN



OPTION 2: ARTS & CRAFTS



STEP 1: Review Existing Design

The design of this townhouse works well with the placement of the living spaces and porch at the front of the house. The windows may be composed in a more orderly fashion. The current design does not have a well-defined architectural character but could be transformed into the Victorian or Arts & Crafts style.

STEP 2: Consult the Design Guidelines

Use the Design Guidelines to guide the transformation. In this case, the Victorian and Arts & Crafts style

sections apply. For townhouse scripting recommendations, see page 2.19.

STEP 3: Develop a New Design Based on Existing Design

A. Adjust Massing, Roof Pitch and Form

In the Victorian example, break the mass of the roof with the addition of a front gable form. For Arts & Crafts, the addition of a cross-gable for the left unit, and further articulation of the plan of the left unit allows for the units to read as individual cottages.

B. Adjust Window and Door Composition

Pick appropriate windows based on the Victorian style in option 1 and the Arts & Crafts style in option 2 of this house. Arrange windows and doors in the spirit of the compositions illustrated in the style sections of the Design Guidelines.

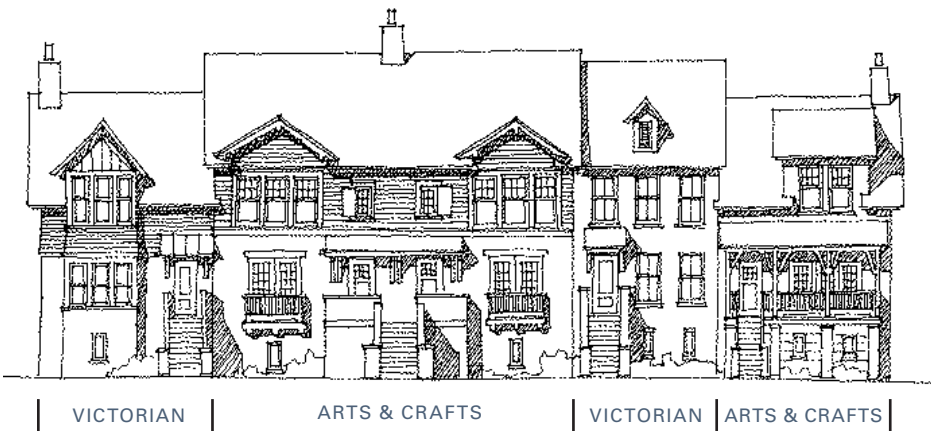
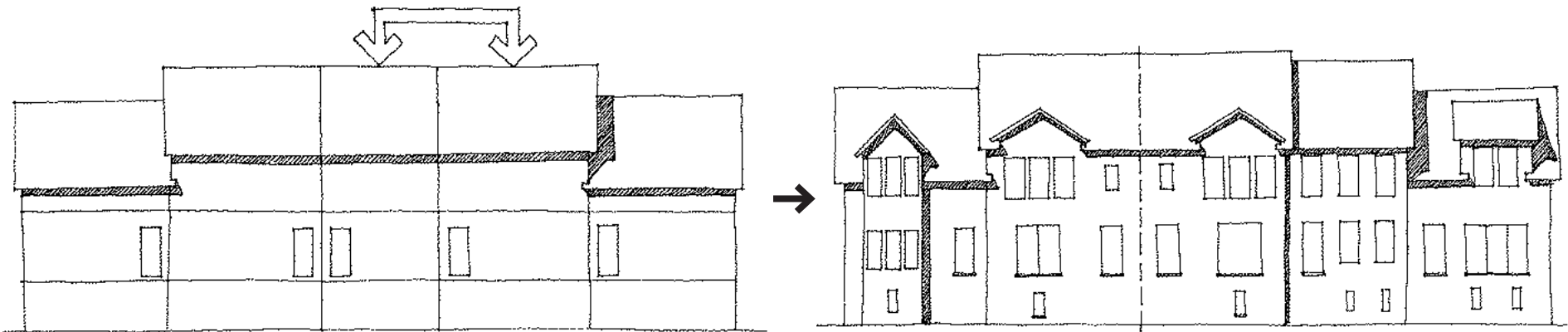
C. Materials and Finishes

Use the appropriate style section to determine the materials and finishing of the building.

Step-by-Step Transformation: Townhouse Five-Unit Composition

An Example of a Transformation of a Typical House Design

Note: These principles can apply to two- or three-story townhouses typically found in the Salt Lake City region.



STEP 1: Review Existing Design

This townhouse composition attempts create variety by alternating styles and varying roof forms and heights. Although these are principles described in the townhouse scripting recommendations, further development can bring more harmony to the design. Rather than utilizing suburban techniques, such as a berm of landscape at the foundation wall it is suggested that the building come to the natural grade level. This will allow the opportunity for windows to bring light into the garage or bonus room at ground level and exterior gardens. In addition, composing the building a matching pair of units and exercising an option for a shared entry stair can introduce a different rhythm to the overall facade.

STEP 2: Consult the Design Guidelines

Use the Design Guidelines to guide the transformation. For townhouse scripting recommendations, see page 2.19.

STEP 3: Adjust Window and Door Composition

Arrange windows and doors in the spirit of the compositions illustrated in the style sections of the Design Guidelines. In this case, the Victorian and Arts & Crafts style sections apply.

STEP 4: Develop a New Design Based on Existing Design

A. Adjust Massing, Roof Pitch and Form

For all styles of rowhouses, it is important to have steep pitches for the main body mass. In the Victorian example on the left, introduce a bay and roof form to increase the vertical emphasis. For Arts & Crafts units at the center of the composition, the addition of a cross-gable elements, at the appropriate roof pitch introduces the domestic cottage scale.

B. Materials and Finishes

Use the appropriate style section to determine the materials and finishing of the building.

Sample Elevations



BUILDING TYPE: COTTAGE
STYLE: ARTS & CRAFTS

BUILDING TYPE: COTTAGE
STYLE: VICTORIAN



BUILDING TYPE: CARRIAGE HOUSE
STYLE: ARTS & CRAFTS



BUILDING TYPE: RETAIL BUILDING
STYLE: MERCANTILE LOFT



BUILDING TYPE: APARTMENT BUILDING
STYLE: ARTS & CRAFTS



BUILDING TYPE: LIVE-WORK
STYLE: TRANSITIONAL MODERN

BUILDING TYPE: LIVE-WORK
STYLE: VICTORIAN

BUILDING TYPE: LIVE-WORK
STYLE: ARTS & CRAFTS